

**MINUTES OF THE MEETING OF THE JERSEY VILLAGE  
PLANNING AND ZONING COMMISSION**

May 23, 2011 – 7:00 p.m.

THE PLANNING AND ZONING COMMISSION OF THE CITY OF JERSEY VILLAGE, TEXAS, CONVENED ON MAY 23, 2011, AT 7:00 P.M. IN THE CIVIC CENTER MEETING ROOM, 16327 LAKEVIEW, JERSEY VILLAGE, TEXAS.

**A. The meeting was called to order at 7:03 p.m. and the roll of appointed officers was taken. Commissioners present were:**

Tom Eustace, Acting Chairman	Barbara Freeman, Commissioner
Harry Beckwith III, Commissioner	Justin Ray, Commissioner
Michael O’Neal, Commissioner	

Chairman, Debra Mergel and Commissioner Rick Faircloth were not present at this meeting. Commissioner Justin Ray was not present when the meeting was called to order, but joined the meeting in progress at 7:12 p.m.

The following City of Jersey Village City Council members and staff were present for the Joint Public Hearing portion of this agenda:

Mayor, Russell Hamley	City Manager, Mike Castro
Council Member, Joyce Berube	City Secretary, Lorri Coody
Council Member, Curtis Haverty	City Attorney, Bill Olson attending for Bobby Gervais
Council Member, Mark Maloy	
Council Member, Jill Klein	

Council Member, Rod Erskine was not present at this meeting.

Staff in attendance: Mark Bitz, Fire Chief; Eric Foerster, Chief of Police; Danny Segundo, Director of Public Works; Isabel Kato, Director of Finance; Michael Brown, Director of Parks and Recreation; Courtney Rutherford, Assistant City Secretary; Deborah Capaccioli-Paul, Engineering Technician; and Christian Somers-Kuenzel, Building Official.

After taking the roll of appointed officers, Mayor Hamley called the meeting’s agenda beginning with the following item:

**B. Conduct Joint Public Hearing with City Council on amendments to the City’s comprehensive zoning ordinance concerning the creation of a new District D – Jersey Village Crossing district, which primarily represents the property located south of the U.S. Highway 290 right-of-way and within the corporate city limits of the City of Jersey Village; and establishing the Form Based Code Requirements for this district.**

Mayor Hamley called the item and Acting Chairman Eustace announced a quorum for the Planning and Zoning Commission. Mayor Hamley opened the Joint Public Hearing at 7:05 p.m.

Background information on the item is as follows:

On July 19, 2010, City Council authorized Kimley Horn and Associates (KHA) to undertake Phase 3 of a feasibility study associated with Transit Oriented Development (TOD). Council was presented with the results of Phase 1 at a work session conducted on October 12, 2009. Phase 2 of the study was approved by Council in October 2009 and results were presented in July 2010.

Phase 3 was necessary to complete the study and basically involved the following steps:

- a. Developing Form Based Codes;
- b. Refining the capital cost estimates for the infrastructure program;
- c. Providing planning support in reviewing Proposed TOD Plats and Developments; and
- d. Developing a fiscal framework for a municipal bond election.

On February 15, 2011, City Council and the Planning and Zoning Commission held a joint work session meeting for the purpose of discussing form based codes and to gain background information regarding implementation of these codes in the development of Jersey Village Crossing.

In addition to the work session meeting, the Planning and Zoning Commission met separately to discuss the implementation of form based code in the development of Jersey Village Crossing on February 15, March 3, and March 14, 2011. The Commission submitted its preliminary report to Council on March 21, 2011, and a Joint Public Hearing was ordered for May 23, 2011.

Mayor Hamley called those individuals signing up to speak on the matters as follows:

**Rick Henry, 7409 Wright Road, Houston, TX 77041 (832) 331-7440** – Mr. Henry told Council that he has lived in the area for many years. He came to the meeting to voice his concern about the new regulations being proposed for a new District D. He lives just outside the City limits and is concerned about how the new requirements will affect his property should he be annexed.

**Darin Gosda, Jr., 10940 W. Sam Houston Parkway North #300, Houston, TX 77064 (832) 678-4016** – Mr. Gosda addressed Council concerning the proposed code changes. He had several meeting handouts to which he referred. He first directed Council's attention to the aerial maps depicting the area south of US 290 where the code changes are proposed to take place. He explained that these maps depict that currently there is no retail development in this area. He then presented council with emails from outside professionals providing comments concerning the proposed form based code changes and emails from developers stating they are more interested in industrial development for this area. He finished his presentation in presenting Council with a copy of a contract that is currently being considered for this area pertaining to industrial usage of the property. He explained that should Council grant/approve the ordinance, the contract negotiations will be cancelled.

**Bill Sudela, 11625 Charles, Houston, TX (832) 418-1019** – Mr. Sudela told Council that he agrees with everything that Mr. Gosda has told them and would add that in his review of

the proposed ordinance he has found no provisions for compensating the current land owners for their property to accommodate the land use change. He explained that they plan to challenge the legality of the ordinance, if passed, upon the basis that there are no provisions for amortization of the use change or compensation.

**Robert Scherer, 7438 Wright Road, Houston, TX (713) 466-6450** – Mr. Scherer told Council that he is with SCS Construction and has a background in construction with 30 years of experience. He owns 15 acres of property in the area and does not believe that the area will develop in the manner that Council has planned because it will be too expensive.

**A.J. Widacki, 8541 Ivy Falls Court, Jersey Village, TX (281) 807-4488**- Mr. Widacki told Council that he is surprised at the comments he has heard that meeting attendees were unaware of this project. He told Council that it is well known that the City has been studying this proposal for some two years. He went on to say that when he was a member of the Council from 2002 through 2006; even then, discussions were had to plan the extension of Jones Road and the development of the City south of US 290. He reminded Council that there have been JV Star articles, public hearings, notices, and much more. So he is surprised at statements claiming lack of knowledge. He is in favor of the development and supports passage of the Ordinance.

**Barbi Freeman, 15501 Jersey Drive, Jersey Village, TX (713) 466-6903** – Mrs. Freeman thanked Council for all the hard work that went into this project. She told Council that passage of the creation of a new District D with form based codes will promote development and business; not discourage it. She supports passage of the Ordinance.

**John R. Banks, Jr., 7500 San Felipe # 700, Houston, TX 77063 (713) 785-5595** – Mr. Banks told Council that he represents Jones Road Properties and his client, along with Robert Ferguson, dedicated ROW to the City for the Jones Road Extension back in 2007. He told Council that this dedication was made upon the reliance that the area would remain zoned industrial and/or commercial. He told Council that developers will not develop the area should form based codes pass and as a result, the lack of development will cause the value of the property to drop. He also stated that without the City willing to compensate land owners, this would be considered a “wrongful taking” of their property. He does not support passage of the Ordinance.

**Meg Belmantes, 406 Heidrich Street, Houston, TX (713) 254-7808** – Ms. Belmantes told Council that she did not support passage of the Ordinance as written. She represents the masonry community and had several recommendations for changes to the masonry requirements in the ordinance.

With no one else signing up to speak, Mayor Hamley and Acting Chairman Eustace closed the public hearing at 7:30 p.m., and the Planning and Zoning Commission retired from the City Council meeting to conduct its posted meeting agenda at 7:30 p.m.

Acting Chairman Eustace reconvened the Planning and Zoning Commission at 7:34 p.m.

**C. Consider approval of the minutes for the meetings held on May 10, 2011.**

Commissioner Beckwith moved to approve the minutes for the meetings held on May 10, 2011. Commissioner Freeman seconded the motion. The vote follows:

Ayes: Commissioners Beckwith, Freeman, Ray, and O’Neal  
Acting Chairman Eustace

Nays: None

The motion carried.

**D. Discuss and take appropriate action regarding the preparation and presentation of the Final Report to Council on the proposal to amend the City’s comprehensive zoning ordinance concerning the creation of a new District D – Jersey Village Crossing district, which primarily represents the property located south of the U.S. Highway 290 right-of-way and within the corporate city limits of the City of Jersey Village; and establishing the Form Based Code Requirements for this district.**

Acting Chairman Eustace called the item. Background information is as follows:

The joint public hearing was conducted by the City Council and the Planning and Zoning Commission on May 23, 2011 in accordance with the requirements of the Code of Ordinances of the City of Jersey Village - Section 14-84.

The public was given an opportunity to provide oral and/or written comments on the proposed amendments concerning the creation of a new District D – Jersey Village Crossing district and establishing the Form Based Code Requirements for this district.

Consideration must be given to: (1) the directives of Council; (2) the discussions had concerning these issues at prior P&Z meetings; and (3) the comments made by the public during the public hearing.

The Proposed Ordinance submitted in the meeting packet was amended from that which was submitted to Council by the P&Z in its Preliminary Report in order to correct inconsistencies with the preliminary document as follows:

1. Section 6 of the Proposed Ordinance was amended to include the newly created division 3 with respect to the City’s Official Zoning Map; and
2. Section 8 was amended to include an Appendix E in the Form Based Code Document that outlines a Regulating Plan for Jersey Village Crossing.

There was discussion among the Commission concerning non-conforming buildings and signs brought up during the joint public hearing. Kimley-Horn Consultant, Joe Willhite and Gateway Consultant, Scott Polikov were present for this discussion. Mr. Polikov explained that this provision was inadvertently omitted from the form based code document. He stated that Section 3.9 needed to be added. Basically the Section 3.9 amendment would state that if a building is non-conforming in design once the code goes into effect, the owner can use the building without any significant changes. The Commission discussed the fairness of the amendment in terms of the current property owners and the City’s objective to maintain

direction with its master plan. The Consultants believe that the non-conforming building/sign clause coupled with the City's existing non-conforming land use standards makes it fair.

Commissioner O'Neal moved to adopt the amendment which added Section 3.9 addressing non-conforming buildings and signs. Commissioner Ray seconded the motion. The vote follows:

Ayes: Commissioners Beckwith, Freeman, Ray, and O'Neal  
Acting Chairman Eustace

Nays: None

The motion carried.

After careful consideration of the concerns brought forth in the joint public hearing Commissioner Ray moved to approve the final report as amended with the addition of a Section 3.9 to address non-conforming buildings and signs; and that that Acting Chairman Eustace present the final report to Council. Commissioner O'Neal seconded the motion. The vote follows:

Ayes: Commissioners Beckwith, Freeman, Ray, and O'Neal  
Acting Chairman Eustace

Nays: None

The motion carried. (A copy of the Final Report is attached to these minutes as Exhibit A).

#### **E. Adjourn**

With no additional business to conduct Commissioner Beckwith moved to adjourn the meeting. Commissioner Freeman seconded the motion. The vote follows:

Ayes: Commissioners Beckwith, Freeman, Ray, and O'Neal  
Acting Chairman Eustace

Nays: None

The motion carried. The meeting adjourned at 8:15 p.m.

---

Courtney Rutherford, Assistant City Secretary



**CITY OF JERSEY VILLAGE – PLANNING & ZONING COMMISSION  
FINAL REPORT  
IMPLEMENTATION OF FORM BASED CODES REQUIREMENTS**

The Planning and Zoning Commission has previously met on February 15, March 3, and March 14, 2011 and in its preliminary report recommended amendments to the City's zoning ordinance concerning the creation of a new District D – Jersey Village Crossing district, which primarily represents the property located south of the U.S. Highway 290 right-of-way and within the corporate city limits of the City of Jersey Village; and establishing the Form Based Code Requirements for this district.

The preliminary report was submitted to the Jersey Village City Council at its March 21, 2011 meeting. The report was reviewed and the City Council ordered a Joint Public Hearing for May 23, 2011.

On May 23, 2011, the City Council and the Jersey Village Planning and Zoning Commission conducted a joint public meeting, which gave the public an opportunity to make comments concerning the proposed amendment.

The Planning and Zoning Commission after duly considering all the information before it including that gathered at the Joint Public Hearing with City Council on May 23, 2011 at 7:00 p.m., the Planning and Zoning Commission recommends that:

**The City's comprehensive zoning ordinance be amended to create a new District D – Jersey Village Crossing district, which primarily represents the property located south of the U.S. Highway 290 right-of-way and within the corporate city limits of the City of Jersey Village; and establish Form Based Code Requirements for this district.**

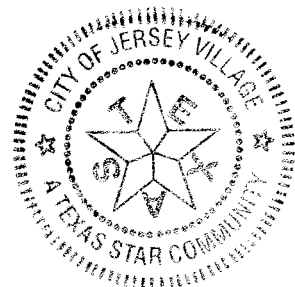
The amendments to the City's zoning ordinance are more specifically detailed in the attached proposed ordinance marked as Exhibit "A."

Respectfully submitted, this 23rd day of May 2011.

Tom Eustace, Acting Chairman

**ATTEST:**

Courtney Ruthford, Assistant City Secretary



**ORDINANCE NO. 2011-xx**

**AN ORDINANCE AMENDING CHAPTER 14, ARTICLE IV OF THE CODE OF ORDINANCES OF THE CITY OF JERSEY VILLAGE, TEXAS, BY AMENDING CERTAIN SECTIONS OF CHAPTER 14, ARTICLE IV TO ADD A NEW ZONING DISTRICT D – JERSEY VILLAGE CROSSING; REVISING THE OFFICIAL ZONING MAP TO ADD DISTRICT D; CORRECTING AND RE-NUMBERING SECTION NUMBERS IN CHAPTER 14, AMENDING SECTION 14-85 RELATING TO DESIGNATION OF NEWLY ANNEXED AREAS, AMENDING SECTION 14.88(A) RELATED TO DISTRICT D; MAKING FINDINGS AND PROVISIONS RELATING TO THE SUBJECT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR REPEAL; PROVIDING A PENALTY AS PROVIDED BY SECTION 14-87 OF THE CODE; AND PROVIDING AN EFFECTIVE DATE.**

\* \* \* \* \*

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF JERSEY VILLAGE, TEXAS THAT:**

**Section 1.** Section 14.81 of the Code of Ordinances is hereby amended to add a subsection (14), to read as follows:

"(14) District D – Jersey Village Crossing district."

**Section 2.** Establishment of District D – Jersey Village Crossing district; Revision of Official Zoning Map.

There is hereby created District D – Jersey Village Crossing district with boundaries as set out in Exhibit "A" of this ordinance. The mayor shall revise the official zoning map of the city in accordance with Section 14-82 to reflect creation of District D – Jersey Village Crossing district as set out in Exhibit "A" of this ordinance.

**Section 3.** The heading of Chapter 14, Article IV, Division 2 is amended to read as follows:

“DIVISION 2. USE BASED ZONING DISTRICTS”

**Section 4.** Sections 14-112 through 14-115 are hereby moved to Article IV, Division 1 and renumbered as follows:

- Sec. 14-112. - Special exceptions.** is now numbered **Sec. 14-90. - Special exceptions.**
- Sec. 14-113. - Nonconforming uses.** is now numbered **Sec. 14-91. - Nonconforming uses.**
- Sec. 14-114. - Reserved.** is now numbered **Sec. 14-93. - Reserved.**
- Sec. 14-115. - Enforcement of article.** is now numbered **Sec. 14-92. - Enforcement of article.**

**Section 5.** The Code of Ordinances is hereby amended to read as follows:

“**Sec. 14-112 – Sec. 14-119. Reserved.**”

**Section 6.** The Code of Ordinances of the City of Jersey Village, Texas, is amended to add a new Division 3 to Chapter 14, Article IV as follows:

### “DIVISION 3. FORM BASED ZONING DISTRICTS”

The first sentence of Section 14.82(a) is hereby amended to include division 3 and shall read as follows:

“The boundaries of the respective districts enumerated in this section and in division 2 and division 3 of this article are defined and established as depicted on the map entitled, "Official Zoning Map of the City of Jersey Village, Texas" which is an integral part of this chapter.”

**Section 7.** The Code of Ordinances of the City of Jersey Village, Texas, Chapter 14, Article IV, Division 3, is amended to add a new Section 14-120, creating the regulations for district D (Jersey Village Crossing district) as set out in Exhibit “B.”

**Section 8.** The Code of Ordinances of the City of Jersey Village, Texas, is amended at Chapter 14, Article IV, Section 14-85 to read as follows:

**“Sec. 14-85. - Designation of newly annexed areas.**

All territory annexed to the city hereafter shall be temporarily designated in district A single-family dwelling district until permanently zoned by the city, except for that territory annexed into the area shown in Appendix E of Section 14-120, it shall be designated as district D (Jersey Village Crossing district).”

**Section 9.** Section 14.88(a) of the Code of Ordinances is hereby amended as follows:

**“(6)a.** Recreational vehicles (manufactured or home-made) including, but not limited to, motor homes, mini-motor homes, travel trailers, 5th wheel trailers, camping trailers, boat trailers, other trailers used for recreational purposes only, truck campers, all terrain vehicles and all types of watercraft including boats (motorized or propelled by any other means) shall not be parked or stored in front or side yards in zoning districts A, C, C-2, or D except for temporary periods of time not exceeding seven days within a 30-day period. A recreational vehicle shall not be parked or stored in a rear yard in zoning districts A, C, C-2, or D unless such vehicle is screened from public view by a solid wood or opaque fence. Nothing in this ordinance is intended to preclude the construction of a properly permitted building that will enclose and screen recreational vehicles.

**b.** A recreational vehicle or watercraft less than eight feet in height lawfully parked or stored on a lot in zoning districts A, C, C-2, or D on May 1, 2009 may continue to be parked or stored at such location until January 1, 2010. A recreational vehicle or watercraft greater than eight feet in height lawfully parked or stored on a lot in zoning districts A, C, C-2, or D on May 1, 2009 may continue to be parked or stored at such location until July 1, 2019. The owner of the recreational vehicle or watercraft must be the owner of the lot on which it is parked or stored; the recreational vehicle or watercraft must continue to be registered by the state; and a recreational vehicle must have a valid motor vehicle inspection certificate. The owner of a lot upon which a recreational vehicle or watercraft greater than eight feet in height was lawfully parked or stored on May 1, 2009 shall register such recreational vehicle or watercraft with the city secretary not later than July 15, 2009. Registration shall be under oath on a form furnished by the city secretary and shall be accompanied by photographs showing the recreational vehicle or watercraft, its location on the lot and its license plate or registration information. The owner may replace a recreational vehicle or watercraft registered under this section with another recreational vehicle or watercraft. The owner shall be issued a certificate with a brief description of the nonconformity which shall thereafter be considered



evidence of the lawful continuation of the parking or storage of such recreational vehicle or watercraft.

**(7)a.** Trucks and vans, larger than one ton in capacity, and self-propelled, self-powered, or pull-type equipment that weighs at least 3,000 pounds and that are intended to be used for commercial, agricultural, construction, or industrial uses, trailers and towed vehicles shall not be parked or stored in a front, side, or rear yard in zoning districts A, C, C-2, or D except during the act of loading or unloading and except in connection with the provision of services to the property at which it is parked.

**b.** Truck tractors shall not be stored or parked in zoning districts A, B, C, C-2, M or D except during the act of loading or unloading.

**(8)** No vehicle shall be parked or stored on an unpaved surface in a front or side yard in zoning districts A, B, C, C-2, M, or D.”

**Section 10.** Section 14.88(a) of the Code of Ordinances is hereby amended by adding the following sentence to each of the sections listed below: “These regulations shall not apply in District D.”

Section 14.88(a)(10)

Section 14.88(a)(18)

Section 14.88(a)(19)

Section 14.88(a)(20)

Section 14.88(a)(21)

Section 14.88(a)(23)

Section 14.88(a)(24)

Section 14.88(a)(25)

Section 14.88(a)(26)

Section 14.88(a)(27)

**Section 11.** The reference to “section 14-114” in Section 14-88(a)(13) is hereby amended to read “Chapter 14,” and Section 14-88(a)(14) is hereby amended to replace the reference to “in section 14-114” with “Chapter 14,” and to replace the phrase “provided for” in that sentence with “required by.”

**Section 12. Findings.**

(a) The City Council, after considering the character of the various districts and the peculiar suitability of the area set out in Exhibit "A" to this ordinance for District D – Jersey Village Crossing District, finds that creation of District D – Jersey Village Crossing District as described in Exhibit "B" to be reasonable and necessary for the public health, safety and general welfare, conserving the value of buildings and encouraging the most appropriate use of land in the city.

(b) The City Council finds that this ordinance is in accordance with the city's comprehensive plan and is designed to meet and does meet the requirements of Section 211.004 and 211.005 of the Texas Local Government Code.

**Section 13. Severability.** In the event any section, paragraph, subdivision, clause, phrase, provision, sentence, or part of this Ordinance or the application of the same to any person or circumstance shall for any reason be adjudged invalid or held unconstitutional by a court of competent jurisdiction, it shall not affect, impair, or invalidate this Ordinance as a whole or any part or provision hereof other than the part declared to be invalid or unconstitutional; and the City Council of the City of Jersey Village, declares

that it would have passed each and every part of the same notwithstanding the omission of any such part thus declared to be invalid or unconstitutional, or whether there be one or more parts.

**Section 14. Repeal.** All other ordinances or parts of ordinances in conflict or inconsistent herewith are, to the extent of such conflict or inconsistency, hereby repealed.

**Section 15. Penalty.** Any person who shall violate any provision of this Ordinance shall be guilty of a misdemeanor and subject to a fine as provided in Section 14-87.

**Section 16. Effective Date.** This ordinance shall be in full force and effect from and after its passage.

**PASSED, APPROVED, AND ADOPTED** this \_\_\_\_\_ day of \_\_\_\_\_, 2011.

\_\_\_\_\_  
Russell Hamley, Mayor

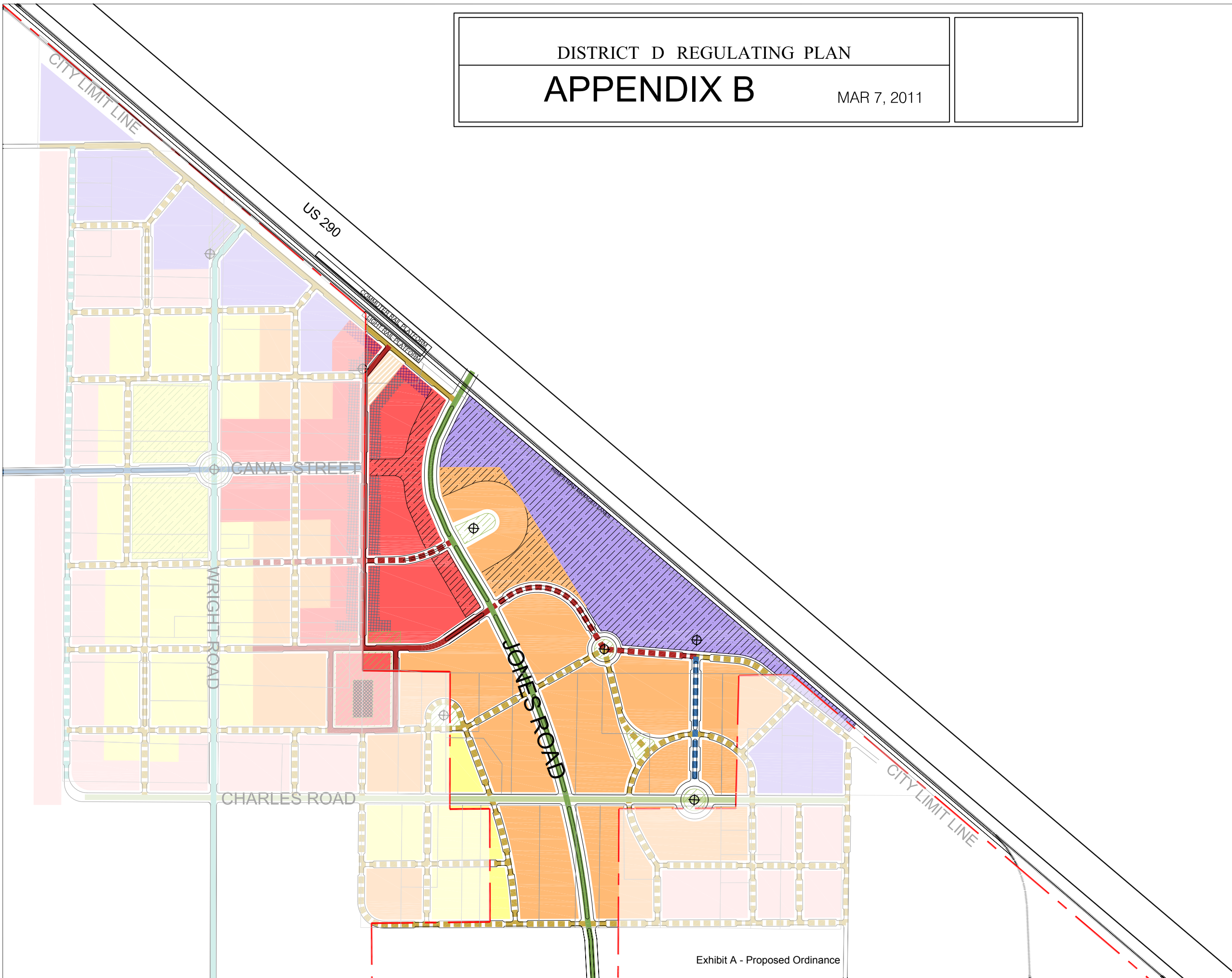
**ATTEST:**

\_\_\_\_\_  
Lorri Coody, City Secretary

DISTRICT D REGULATING PLAN

APPENDIX B

MAR 7, 2011



CHARACTER ZONES

- District D Core
- District D Mixed Use
- District D Neighborhood
- District D Transition
- District D Highway Mixed-Use

STREET TYPES

**TYPE A STREETS**

- District D Main Street
- District D Mixed Use Avenue
- District D Canal Street

**TYPE B STREETS**

- District D Suburban Boulevard
- District D Urban Avenue
- District D General Street

- Solid line denotes mandatory street
- Dashed line denotes non-mandatory street

OPEN SPACE TYPES

- Mandatory Plaza
- Non-Mandatory Green, Square or Plaza
- Non-Mandatory Park

SPECIAL REQUIREMENTS

- Required Civic Building Site
- Station frontage
- Main Street frontage
- ⊕ Recommended Vista Terminus
- City Limit Line
- Existing Parcel Lines

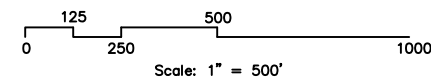


Exhibit A - Proposed Ordinance

## **Table of Contents**

Section 1.	Purpose and Intent
Section 2.	Components of the Code
Section 3.	Administration
Section 4.	Definitions
Section 5.	Regulating Plan
Section 6.	Schedule of Permitted Uses
Section 7.	Building Form and Development Standards
Section 8.	Building Design Standards
Section 9.	Street and Streetscape Design Standards
Section 10.	Signage Standards
Section 11.	Civic Space and Private Open Space Standards
Appendix A:	Conceptual Plan
Appendix B:	Regulating Plan
Appendix C:	Planting List
Appendix D:	Development Process Flow Chart
Appendix E:	Jersey Village Crossing Build-Out Regulating Plan

## **Section 1. Purpose and Intent:**

The purpose of the District D Jersey Village Crossing Regulations, hereafter known as the District D regulations, is to support development of the area along US 290 in Jersey Village into a pedestrian-oriented, mixed-use urban development environment, with convenient access to transportation, shopping, employment, housing, and regional retail services which City Council by Resolution 2010-62 has designated as “Jersey Village Crossing.” The goal of Jersey Village Crossing is to promote an efficient, compact land use pattern; encourage pedestrian activity; reduce the reliance on private automobiles; and provide a more functional and attractive community through the use of recognized principles of urban design.

- 1.1 Economic Development – Jersey Village Crossing and corresponding standards are created to support economic development, sustainable tax base, and job creation by establishing adjacency predictability of private development that supports and leverages investment in and around Jersey Village.
- 1.2 Implement the Design Goals of the Jersey Village Crossing Master Plan – The objective of Jersey Village Crossing is to foster a major regional center with significant regional retail, employment, and residential uses within convenient walking distance from any future transit stations. Development within this area would accommodate large scale office and retail users while providing for appropriately scaled mixed use and residential uses within the district.
- 1.3 Establish Specific Development Standards – The District D regulations implement the vision for Jersey Village Crossing as established in the Conceptual Plan (Appendix A) and the Jersey Village Crossing Regulating Plan, hereafter known as the Regulating Plan (Appendix B). The Regulating Plan shall provide guidance to property owners, developers, and the City on the form, character, and intensity of future development within Jersey Village Crossing. As used in Section 14-120, Jersey Village Crossing shall mean District D. Creation of different Character Zones within Jersey Village Crossing enables specific site and locational standards to be enumerated and applied. Clear graphic standards are provided for location, height, and building elements. Such standards promote sustainability, public welfare, walkable mixed use development, housing variety and transportation choice.

## **Section 2. Components of the Code:**

- 2.1 Development of property within District D shall comply with all applicable development standards set forth in Section 14-120. The components of District D regulations consist of:
  - 2.1.1 Jersey Village Crossing Regulating Plan: The Jersey Village Crossing Regulating Plan, hereafter known as the “Regulating Plan,” denotes the official character zones within District D. It identifies the applicable character zones within Jersey Village Crossing including:
    - i. Character Zones – Jersey Village Crossing is divided into different “Character Zones.” A Character Zone creates a distinct urban form within that Zone which is different from urban forms in other Character Zones. Each Character Zone establishes use and development standards including height, bulk, building and parking location, and functional design. The Regulating Plan classifies all property within Jersey Village Crossing into one of five Character Zones.
    - ii. Special Frontage Standards – The Special Frontage Standards establish exceptions and special conditions for all buildings along designated frontages. Special Frontage Standards shall apply in addition to the underlying Character Zone standards.
    - iii. Street Designations by Street Type– The Street Designations illustrate the design, configurations, and development context for all streets within Jersey Village Crossing. The

street classification addresses vehicular lane widths, number of lanes, pedestrian accommodation, street tree requirements, on-street parking, and parkway and median standards (streetscape standards). In addition, streets are distinguished by the appropriate development context by denoting them on the Regulating Plan as Type “A” or Type “B” Streets.

- iv. Mandatory Street Network – The Mandatory Street Network specifies the future streets needed to implement the Regulating Plan. The Mandatory Streets shall be required and shall generally meet the locational and connectivity goals of the Regulating Plan. Their design shall be guided by Section 9.
- v. Mandatory Civic Space – The Mandatory Civic Space areas shown on the Regulating Plan designate the locations of proposed civic spaces (including parks, plazas, greens, and squares). The design of civic spaces shall be guided by Section 11.
- vi. Non-Mandatory Street Network – The Non-Mandatory Street Network indicates locations of suggested, but not required streets within the Regulating Plan. These streets are not mandatory, but at the election of the applicant and their design shall be guided by Section 9.
- vii. Non-Mandatory Civic Space – The Non-Mandatory Civic Space designation indicates the locations of desired, but not required civic/open spaces (including parks, plazas, greens, and squares) to implement the Regulating Plan. Non-Mandatory Civic Spaces are not required, but at the election of the applicant. The design of civic spaces shall be guided by Section 11.

2.1.2 Development Standards: The District D regulations (the text portion of Section 14-120) enumerates the development standards with text and graphics for Character Zones, Special Frontage, building form, civic space, private open space, landscape, building design, signage, lighting, and all related standards for all streets, public and private development.

### **Section 3. Administration**

This section sets forth the provisions for reviewing and approving development applications within Jersey Village Crossing. The intent is to ensure that all development in District D – Jersey Village Crossing is consistent with the provisions of this section. All regulations set out in this section shall be applied during the review process.

3.1 Development in District D shall comply with the requirements of the City’s Code of Ordinances as set out in this subsection.

3.1.1 All development in District D is required to meet the standards set out in the following provisions of Chapter 14 of the City’s Code of Ordinances, as amended:

Article I. In General

Article II. Boards and Commissions

Article III. Platting and Subdivision of Land

Article IV. Zoning Districts – Division 1 (except Sections 14-84.1 and parts of 14-88(a) see below)

Article V. Lot Standards

Article VI. Public Easement Standards

Section 14-183 Street Names

Section 14-111 – Motor Vehicle Sales Overlay District

Article VIII. Public Utilities

Article IX. Storm Drainage and Flood Control

Article X.- See Section 3.2 below

Article XIII. Building Code;  
Article XIV. Electrical Code;  
Article XV. Plumbing Code and Gas Code;  
Article XVI. Mechanical Code;  
Chapter 14, Article XVII. Swimming Pool Code;  
Chapter 14, Article XVIII. Excavation and Grading Code;  
Chapter 14, Article XIX. Energy Conservation Code;  
Chapter 14, Article XX. Miscellaneous Regulations; Penalty; and  
Chapter 14, Article XXI. Stormwater Management

- 3.1.2 The development standards under Chapter 14 of the City of Jersey Village Code of Ordinances, as amended, shall apply to District D except as specifically referenced below. These provisions do not apply in District D:

Section 14.14-84.1  
Section 14.88(a)(10)  
Section 14.88(a)(18)  
Section 14.88(a)(19)  
Section 14.88(a)(20)  
Section 14.88(a)(21)  
Section 14.88(a)(23)  
Section 14.88(a)(24)  
Section 14.88(a)(25)  
Section 14.88(a)(26)  
Section 14.88(a)(27)  
Article IV. Zoning Districts – Division 2, excepting 14-111  
Article VII. Street System Standards excepting Section 14-183  
Article XI. Off-Street Parking and Driveway Standards  
Article XII. Landscaping, Bufferyard, Park and Open Space Standards

- 3.2 Except as specifically listed in Section 10 below, all other signage and sign standards must comply with Chapter 14, Article X of the City of Jersey Village Code of Ordinances, as amended.

- 3.3 Using Section 14-120:

The following basic steps should be followed to determine the uses and development standards applicable on property within District D - Jersey Village Crossing:

- 3.3.1 Locate the subject property on the Regulating Plan.  
3.3.2 Identify:  
i. the Character Zone in which the property is located;  
ii. the Street Type designation along all its street frontages; and  
iii. any Special Frontage Requirements that may be applicable to the subject property.  
3.3.3 Review the Schedule of Uses by Character Zone as listed in Table 6.1 to determine allowed uses.  
3.3.4 Examine the corresponding zone standards in the Building Form and Development Standards in Section 7 to determine the applicable development standards.  
3.3.5 Refer to Section 5.5 for Special Frontage Standards.  
3.3.6 Refer to Section 8 for Building Design Standards.  
3.3.7 Refer to Section 9 for Street Type and Streetscape Standards.  
3.3.8 Refer to Section 10 for Signage Standards  
3.3.9 Refer to Section 11 for Civic Space and Private Open Space Standards.

The information from the above listed steps explains where the building will sit on the lot, the limits on its three dimensional form, the range of uses, and the palette of materials that will cover it.

3.4 Development within District D that complies with the provisions of Section 14-120 shall be approved by the City Manager or designee (see Appendix D for flow chart of the review process). In addition to complying with applicable City regulations that are not in conflict with Section 14-120, the applicant shall provide the information to adequately show compliance with Section 14-120 as required in Section 3.5.

3.5 All applications for development within District D shall require the following:

3.5.1 The applicant shall prepare a site plan demonstrating compliance with the Zone's standards, the Regulating Plan and the Conceptual Plan for administrative review. A site plan application shall include maps (to an appropriate scale) and/or reports that include the following information:

- i. Title block containing the name of the site plan, type of application, name and address of the applicant, plan preparer, and owner and a written and graphic scale.
- ii. Location of the subject property including delineation of Character Zones, Mandatory and Non-Mandatory streets (if any), and any special frontage requirements (if any).
- iii. When subdivision of land is required, the layout of proposed blocks, lots, streets, easements, utilities, alleys, and trails, if any, consistent with Section 14-120 and other city ordinances and plans;
- iv. The location of all physical improvements, both existing and proposed, including but not limited to buildings, sidewalks, driveways, parking, utilities, easements, landscaping, open space, etc.
- v. All proposed uses on the property and/or buildings.
- vi. Street designation along all public frontages of the property and compliance with the building form and development standards for the specific Character Zone the property is located in per Section 7.
- vii. Screening, landscaping, and private open space provision as required by Section 14-120.
- viii. Site plans, building plans, architectural elevations and renderings of proposed building(s) including demonstration of compliance with Building Design Standards in Section 8.
- ix. Any other information that may be reasonably necessary to review and determine whether the proposed development complies with Section 14-120.

3.5.2 The provisions of 3.5.1 above do not apply for platting activities considered to be Boundary Line Adjustments as defined by Section 14-53. The provisions of Section 14-56 shall apply for all Boundary Line Adjustments.

3.6 The City Manager or designee shall be responsible for the following:

- 3.6.1 Reviewing site plan applications for compliance with the requirements of District D regulations.
- 3.6.2 Approving site plan applications that are in compliance with the requirements of the District D regulations.
- 3.6.3 Making determinations on the applications and interpretations of standards in Section 14-120.
- 3.6.4 Approving revisions to previously approved development plans that comply with Section 14-120 and all applicable city ordinances.
- 3.6.5 Approving any minor modifications to the approved Regulating Plan per Section 3.8.
- 3.6.6 Recommendations on any Special Development Plan (SDP) applications to the Planning and Zoning Commission (P&Z) and City Council (CC).



3.7 Special Development Plans (SDPs): A request for a modification to any of the standards of Section 14-120 other than minor modifications permitted under Sections 3.8 shall be reviewed and processed as an SDP.

3.7.1 Special Development Plans (SDPs) are intended to allow applicants development flexibility to address specific market opportunities and/or contexts. An application for a Special Development Plan shall be processed as an amendment to the zoning ordinance under Chapter 14, Article IV of the City of Jersey Village Code of Ordinances and may only be considered by the CC after the P&Z has made a recommendation. The City Manager or designee shall review, make recommendations on any SDPs, and shall forward all SDP applications to the P&Z. In evaluating an SDP, CC may consider the extent to which the application meets any of the following:

- i. the goals and intent of the Conceptual Plan;
- ii. provides a “Master Plan” approach by consolidating multiple properties to create a predictable, market-responsive development for the area;
- iii. fits the adjoining context by providing appropriate transitions;
- iv. provides public benefits such as usable civic and open spaces, livable streets, structured or shared parking, and linkages to transit and adjoining opportunities; and
- v. does not hinder future opportunities for higher intensity, mixed use development.

3.8 Minor Modifications to the District D regulations:

The City Manager or designee shall have the authority to approve a request for minor modifications to District D regulations that:

- 3.8.1 Does not change the circulation and building location on the site;
- 3.8.2 Does not increase the building area permitted under Section 14-120;
- 3.8.3 Does not change the relationship between the buildings and the street;
- 3.8.4 Does not allow a use not otherwise authorized in Section 14-120;
- 3.8.5 Does not allow greater height of any building or reduction of any parking requirement established in Section 14-120; or
- 3.8.6 Change established street cross sections per Table 3.1 below and Section 9.

The City Manager or designee shall also have the authority to approve minor modifications outlined in Table 3.1. Any appeals to the decisions of the City Manager on minor modifications shall be heard by the City Council. Any City Council denials of minor modifications or any changes beyond those that meet the criteria above or the thresholds established in Table 3.1, shall be processed as an amendment to Section 14-120 under Chapter 14, Article IV of the City of Jersey Village Code of Ordinances.

Table 3.1 Minor Modifications Allowed

<i>Standard</i>	<i>Minor Modification Allowed</i>	<i>Comments</i>
Area/boundary of Character Zones (including any Mandatory Civic/Open Spaces)	No more than a 15% change (increase or decrease) in the area of any Character Zone (aggregate or per block)	<ul style="list-style-type: none"> <li>• Shall not eliminate any Character Zone</li> <li>• 15% measurement shall be based on the total area of that specific Character Zone within the entire District D.</li> <li>• For the purposes of Section 14-120, any increase in any Character Zone that results from the elimination of a non-mandatory street shall not count towards the 15% threshold.</li> </ul>
Location of any Mandatory Street	Location shall not move more than 100' in any direction	<ul style="list-style-type: none"> <li>• Shall maintain the connectivity intended by the Regulating Plan</li> </ul>
<b>Building Form and Development Standards</b>		
<ul style="list-style-type: none"> <li>• Build to zones/setbacks</li> </ul>	No more than a 10% change in the maximum or minimum setback.	<ul style="list-style-type: none"> <li>• Changes to the build to zones and setbacks may only be due to any changes to the street cross sections or change in the width of a sidewalk</li> </ul>

		<ul style="list-style-type: none"> <li>In no case shall the sidewalk be less than 6 feet in width</li> </ul>
<ul style="list-style-type: none"> <li>Building Frontage</li> </ul>	No more than a 15% reduction in the required building frontage along each block of a Type "A" Street	<ul style="list-style-type: none"> <li>Any reduction in the required building frontage shall be to accommodate porte-cocheres for drop-off and pick-up.</li> </ul>
<ul style="list-style-type: none"> <li>Street screen</li> </ul>	Waiver of street screen requirement along a Type "B" Street	<ul style="list-style-type: none"> <li>Requirement for a street screen may only be waived along a Type "B" Street along the frontage of any interim surface parking lot (off-street) that is intended to be in-filled with a parking structure.</li> <li>In no case shall any portion of the surface parking have frontage along a Type "A" Street without a required street screen</li> <li>In no case shall the (off-street) surface parking lot be located at a street intersection for a minimum depth of 30' along each street (regardless of the Street Type).</li> </ul>
Street Cross Sections	Cross sections of new streets may be adjusted with respect to number of lanes, lane widths, on-street parking configuration, pedestrian accommodation, and street tree planting	<ul style="list-style-type: none"> <li>Any changes in the street cross sections shall be based on specific development context such as vegetation, natural features, drainage, and fire access and is subject to approval by the City.</li> </ul>

3.9 Non-Conforming Buildings and Signs

3.9.1 Regardless of transfer of ownership, existing Non-Conforming Buildings with a Non-Conforming Use that do not conform to the provisions of Section 14-120 may continue as they are until:

(i) the building is reconstructed or substantially modified such that the collective reconstructions or modifications within any continuous three (3) year period are valued at more than either \$100,000 or a total of sixty five (65) % of the assessed value of the improvements in the most recently certified tax rolls, whichever is greater.

3.9.2 Regardless of transfer of ownership, existing non-conforming buildings that do not conform to the provisions of Section 14-120 may change use within the same building, provided the new use is permitted in Table 6.1 in this Code until;

(i) the building is reconstructed or substantially modified such that the collective reconstructions or modifications within any continuous three (3) year period are valued at more than either \$100,000 or a total of sixty five (65) % of the assessed value of the improvements in the most recently certified tax rolls, whichever is greater.

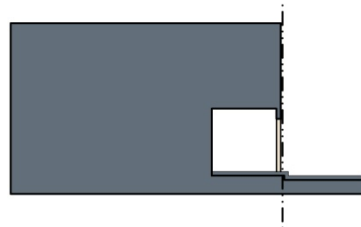
3.9.3 Regardless of transfer of ownership, existing Non-Conforming Signs that do not conform to the provisions of Section 14-120 may continue as they are until the sign is reconstructed or substantially modified such that the modifications are valued at more than fifty (50) % of the replacement value of the sign;

3.9.4 Regardless of transfer of ownership, existing Non-Conforming Buildings and Non-Conforming Uses that have lost their Non-Conforming status shall meet the standards in Section 14-91 of the City of Jersey Village Code of Ordinances;

**Section 4. Definitions**

In addition to Definitions in Chapter 14, Article I, Section 14.5 of the City of Jersey Village Code of Ordinances, the following terms shall have the corresponding interpretations:

*Arcade* means a portion of the main façade of the building that is at or near the property line and a colonnade supports the upper floors of the building. Arcades are intended for buildings with ground floor commercial or retail uses and the arcade may be one or two stories.



*Image of an arcade*

*Auto-Related Sales and Services* means establishments that provide retail sales and services related to automobiles including, but not limited to tires, batteries, gasoline, etc., but shall not include motor vehicle sales.

*Block Face Dimensions* means the linear dimension of a block along one of its street frontages.

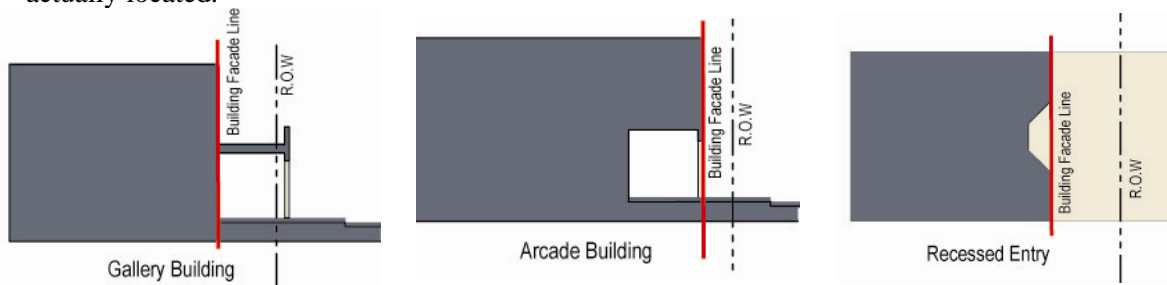
*Block Perimeter* means the aggregate dimension of a block along all of its street frontages.

*Block* means the aggregate of lots, pedestrian passages and rear alleys, circumscribed on all sides by streets.

*Build-to Line* means the line at which the principal building's front façade shall be built.

*Build-to Zone (BTZ)* means the area within which the principal building's front façade is to be built.

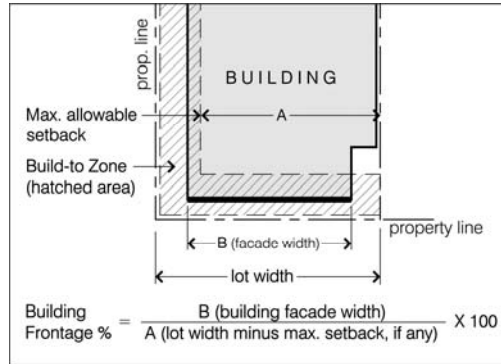
*Building Façade Line* means the vertical plane along a lot where the building's front façade is actually located.



*Building Façade Line Illustrations*

*Building Form Standards* means the standards established for each Character Zone that specify the height, bulk, orientation, and elements for all new construction and development.

*Building Frontage* means the percentage of the building's front façade that is required to be located at the front Build-to Line or Zone as a proportion of the lot's frontage along that public street. Parks, plazas, squares, improved forecourts, and pedestrian breezeway frontages shall be considered as buildings for the calculation of building frontage.



*Image showing how a lot's building frontage is calculated.*

*Character Zone* means an area within the District D development that creates a distinct urban form different from other areas within District D. Character Zones are identified in the Regulating Plan.

*City Manager* means the City Manager of the City of Jersey Village or his/her designee.

*Civic Space* means publicly accessible open space in the form of parks, courtyards, forecourts, plazas, greens, pocket parks, playgrounds, etc. They may be privately or publicly owned. Building façades facing a Civic Space shall be treated as a Type “A” Street frontage.

*Green* means a civic space intended for unstructured recreation, spatially defined by landscaping rather than building frontages.

*Park* means a civic space that is a preserve largely available for unstructured recreation.

*Plaza* means a primarily hardscaped civic space with formal landscaping, available for civic purposes and commercial activities. A plaza shall be spatially defined by buildings.

*Playground* is a civic/ private open space designed and equipped for children’s recreation. A playground may be fenced and may include an open shelter. Playgrounds may be located within residential areas and may be placed within a block. They may be included in other civic/open spaces.

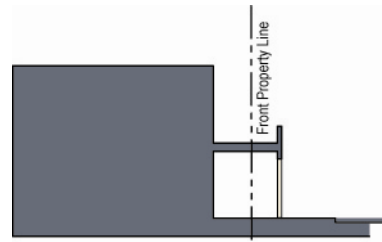
*Comprehensive Plan* means the City of Jersey Village Comprehensive Plan that establishes policy guidance for the long-term growth and development of the City as adopted on the effective date of Section 14-120. For the purposes of Section 14-120, the Conceptual Plan shall be the policy document that provides guidance for the development of District D.

*Conceptual Plan* means the general block level plan that provides guidance for the future development of Jersey Village Crossing into a transit-oriented development. It indicates the location of different character areas, streets, and open spaces within the area and is adopted as Appendix A to Section 14-120.

*Encroachment* means any structural or non-structural element such as a sign, awning, canopy, terrace, or balcony that breaks the plane of a vertical or horizontal regulatory limit, extending into a Setback, into the Public R.O.W, or above a height limit.

*Façade Rhythm* means the repetition of a vertical feature, bay width or architectural element on a façade at a regular interval that provides scale and massing to a building.

*Gallery* means an extension of the main façade of the building that is at or near the front property line. The gallery may overlap the public sidewalk.



*Image of a Gallery*

*Kiosk* means a small temporary or permanent structure often open on one or more sides used for sales in civic/open spaces.

*Live-Work Unit* means a dwelling unit that is also used for work purposes, provided that the ‘work’ component is restricted to the uses of professional office, artist’s workshop, studio, or other similar uses and is located on the street level and constructed as separate units under a condominium regime or as a single unit. The ‘live’ component may be located on the street level (behind the work component) or any other level of the building. Live-work unit is distinguished from a home occupation otherwise defined by Chapter 14, Article IV, Division 3 in that the work use is not required to be incidental to the dwelling unit, non-resident employees may be present on the premises and customers may be served on site.

*Living Screen* means a Street Screen composed of landscaping in the form of vegetation.

*Main Street Frontage* means the special frontage requirement along identified Type “A” Street frontages as indicated in the Regulating Plan.

*Master Sign Plan* means a unique sign plan to implement a specific vision for a portion or all of the development that meets Section 10.2.

*Minor Modification* means any changes to the District D regulations that meet the threshold criteria established in Section 3.8 and Table 3.1.

*Non-Mandatory Civic Space* means plaza, green, square, or park area identified on the Regulating Plan which is shown as a suggested feature within the Conceptual Plan. A Non-Mandatory Civic Space is not required and is at the election of an applicant or developer.

*Non-Mandatory Street* means a street that is identified on the Regulating Plan which is shown as a suggested street within the Conceptual Plan. The Non-Mandatory Street is not required and is at the election of an applicant or developer.

*Pedestrian Easement* means a grant of use of private property for pedestrian access and use.

*Private Open Space* means open space provided for all residential uses, privately accessible open spaces such as courtyards, porches, and balconies.

*Regulating Plan* means the Zoning Map attached hereto as Appendix B that shows the Character Zones, Civic Spaces, location of Special Frontages, Streets, and other Special Requirements applicable to the Jersey Village Crossing subject to the standards in Section 14-120.

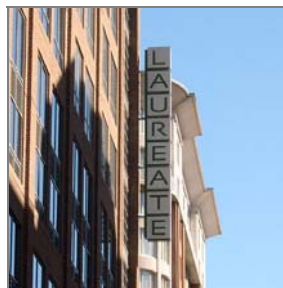
*Residential Loft* means a residential unit that is built to Retail Ready standards and adapted for residential uses.

*Retail Ready* means space constructed at a minimum interior height of 14 feet which may be used for noncommercial uses and can be converted into retail/commercial use. Prior to the issuance of a certificate of occupancy for a retail/commercial use in a Retail-Ready space, the space must comply with all building and construction codes for that use. The intent of Retail-Ready space is to provide the flexibility of occupying a space in accordance with market demand and allowing the use in such space to change to retail/commercial uses accordingly.

*Retail Sales* means establishments that are the final step in the distribution of merchandise. They are organized to sell in small quantities to many customers. Establishments in stores operate as fixed point-of-sale locations, which are designed to attract walk-in customers. Retail establishments often have displays of merchandise and sell to the general public for personal or household consumption, though they may also serve businesses and institutions. Some establishments may further provide after-sales services, such as repair and installation. Included in, but not limited to this category, are durable consumer goods sales and service, consumer goods, other grocery, food, specialty food, beverage, dairy, etc., and health and personal services.

*Service Uses* means a category for limited personal service establishments which offer a range of personal services that include (but not limited to) clothing alterations, shoe repair, dry cleaners, laundry, health and beauty spas, tanning and nail salons, hair care, etc.

*Sign, Building Blade* means a pedestrian-oriented sign that is affixed perpendicular to the corner of a building or to the front façade of a building above the ground floor to provide identification for the whole building.



*Image of a Building Blade Sign*

*Sign, Marquee* means a sign structure placed over the entrance to a theatre or other public gathering venue. It has signage stating either the name of the establishment or the name of the event, artist, and other details of the event appearing at that venue. The marquee is often identifiable by a surrounding cache of light bulbs, usually yellow or white, that flash intermittently or as chasing lights. Marquee signs may often be combined with Building Blade signs.



*Image of a Marquee sign with a Building Blade Sign*

*Sign, Monument* means any sign which is connected to the ground and which has no clear space for the full width of the sign between the bottom of the sign and the surface of the ground. A monument sign may include a sign face and sign structure, and may also include a sign base and sign cap.



*Image of a Monument Sign*

*Sign, Sandwich Board* means a portable sign consisting of two panels of equal size, which are hinged at the top or one panel with a support and placed on the ground or pavement so as to be self-supporting.



*Images of sandwich board signs.*

*Sign, Tenant Blade* means a smaller pedestrian-oriented sign that is affixed perpendicular to the building façade under a canopy or awning or immediately over a tenant space and provides identification for individual tenants within a building.



*Image of a Tenant Blade Signs*

*Special Development Plan* means a development application that meets Section 3.7 of Section 14-120.

*Special Frontage Requirements* means standards applied to certain blocks as indicated in the Regulating Plan in order to address specific requirements and transitions based on street frontage and adjacency in addition to the underlying Character Zone standards.

*Station Platform Frontage* means the special frontage requirement on blocks with frontage along the rail station platform as indicated in the Regulating Plan.

*Street Screen* means a freestanding wall or living screen built along the BTZ or in line with the building façade line along the street. It may mask a parking lot or a loading/service area from view or provide privacy to a side yard and/or strengthen the spatial definition of the public realm.



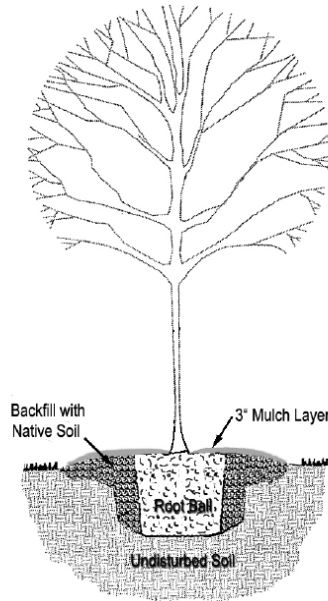
*Image of a combination masonry and living street screen*

*Street Type* means a specific designation for streets in Jersey Village Crossing that establishes a certain character and cross-sections to improve walkability within the development.

*Street Network* means the Mandatory and Non-Mandatory network for new and existing streets within Jersey Village Crossing as established in the Regulating Plan.

*Tree Planting Area* means the actual ground area which is disturbed for planting a tree. It shall include the root ball and backfill soil around it. The tree planting area may be larger than the tree well which is placed over the tree planting area.





*Illustration showing the Tree Planting Area*

*Tree Well* means an unpaved area around the trunk of a tree within the sidewalk area that is either landscaped with ground cover or covered with a tree grate.



*Example of a tree well with a tree grate*



*Example of a tree well with landscaping*

*Type “A” Street* means the streets identified as such on the Regulating Plan. Type “A” Streets are the primary pedestrian streets and buildings along Type “A” Streets shall be held to the highest standard of pedestrian-oriented design.

*Type “B” Street* means the streets identified as such on the Regulating Plan. Type “B” Streets are intended to primarily accommodate access to parking, service, and other auto-related functions.

**Section 5. The Regulating Plan**

5.1 The Regulating Plan (Appendix B) is hereby adopted as the official zoning map for District D - Jersey Village Crossing.

5.2 Character Zones Established – the following Character Zones are established. The boundaries of the specific Character Zones are established in the Regulating Plan:

5.2.1 District D Core: The District D Core provides the most opportunity for the highest intensity development. It is the area that has significant development impact and the highest pedestrian activity. The District D Core consists of the highest density and height, with the greatest variety of uses. Development within the District D Core shall meet the Building Form and Development Standards in Section 7.1.

- 5.2.2 District D Mixed Use: The District D Mixed Use is the area adjacent to the District D Core that is intended for high intensity commercial and residential uses in addition to supporting retail and restaurant uses. Development within the District D Mixed Use shall meet the Building Form and Development Standards in Section 7.2.
- 5.2.3 Highway Mixed Use: Highway Mixed Use is intended to provide an appropriate transition into the District D from the US 290 access road and the future Hempstead managed lanes. This area is also intended for regional office and retail development. Development within the Highway Mixed Use shall meet the Building Form and Development Standards in Section 7.3.
- 5.2.4 District D Neighborhood: The District D Neighborhood consists primarily of a residential fabric. The area is intended to have a mix of small apartments, townhomes and live-work units with commercial activity concentrated at street intersections. Development within the District D Neighborhood shall meet the Building Form and Development Standards in Section 7.4.
- 5.2.5 District D Transition: The District D Transition is intended to provide for a range of commercial (retail, office, light/cottage industrial and live-work) and residential uses as a transition from the District D Neighborhood. Development standards will emphasize transitioning of existing heavier industrial uses to ones more compatible with adjoining neighborhoods. Development within the District D Transition shall meet the Building Form and Development Standards in Section 7.5.
- 5.3 Street Designations By Street Type Established – The Regulating Plan establishes the following Street Designations:
- 5.3.1 Type “A” Streets Established – Type “A” Streets are intended to be the primary pedestrian streets and buildings along Type “A” Streets shall be held to the highest standard of pedestrian-oriented design. The Type “A” Streets are District D Main Street, Mixed Use Avenue, Canal Street, and District D General Street as identified on the Regulating Plan.
- 5.3.2 Type “B” Streets Established – Type “B” Streets are intended to balance pedestrian orientation with automobile orientation. Buildings along Type “B” Streets may be permitted to accommodate some service and auto-related functions. The Type “B” Streets are Urban Avenue and Suburban Boulevard as identified on the Regulating Plan.
- 5.4 Mandatory and Non-Mandatory Streets by Street Type – The Street Network indicates Mandatory and Non-Mandatory streets needed to implement the Regulating Plan. The Regulating Plan designates the type, classification, and location of streets. All new and improved streets in District D shall meet the street design standards established in Section 9..
- 5.5 Special Frontage Requirements – In order to address specific requirements and transitions based on street frontage and adjacency, the following Special Frontage Requirements as established in the Regulating Plan shall apply:
- 5.5.1 Main Street Frontage: Ground floors of all buildings designated as Main Street Frontage on the Regulating Plan shall not be occupied by residential units and/or lodging rooms in hotels to a minimum depth of 30 feet as measured from the front building line.
- 5.5.2 Station Platform Frontage: Ground floors of all buildings designated as Station Frontage on the Regulating Plan shall provide shaded areas to a minimum depth of 6 feet. Shaded devices may include arcades, galleries, awnings, canopies, etc.
- 5.6 Civic Space – The Regulating Plan indicates Mandatory and Non-Mandatory Civic Spaces. The specific standards for Civic Space are established in Section 11.

## Section 6. Schedule of Permitted Uses

- 6.1 Generally: Due to the emphasis on urban form over land uses in District D, general use categories have been identified by character zones. Uses not listed in the following schedule, but are

substantially similar, may be permitted upon the approval of the City Manager or designee, subject to appeal directly to the City Council.

6.2 Schedule of Uses:

Table 6.1

Character Zone	District D Core	District D Mixed Use	Highway Mixed Use	District D Neighborhood	District D Transition
<b>Land Use</b>					
<b>Commercial Uses (Office, Retail, Sales &amp; Service Uses)</b>					
Retail Sales or Service with <u>no drive through facility</u> (includes alcohol sales which shall meet Chapter 6, Alcoholic Beverages of the City of Jersey Village Code of Ordinances). Excluded from this use category is Auto-Retail Sales and Services (see Section 4 for Definition of Retail, Service Uses, and Auto-related Sales and Services)	P	P	P	P/C	P
Finance, Insurance, and Real Estate establishments including banks, credit unions, real estate, and property management services, <u>with no drive through facility</u>	P	P	P	P/C	P
Offices for business, professional, and technical uses such as accountants, architects, lawyers, doctors, etc.	P	P	P	P/C	P
Research laboratory headquarters, laboratories and associated facilities	P	P	P	NP	P
Food Service Uses such as full-service restaurants, cafeterias, bakeries and snack bars with <u>no drive through facilities</u> Included in this category is café seating within a public or private sidewalk area with no obstruction of pedestrian circulation. Also included in this category is the sale of alcoholic beverages which meets Chapter 6 Alcoholic Beverages of the City of Jersey Village Code of Ordinances.	P	P	P	P/C	P
Any use with a drive through facility	P/C	P/C	P/C	NP	P/C
Auto-related Sales and Services	NP	NP	P/C	NP	P/C
<b>Arts, Entertainment, and Recreation Uses</b>					
Art galleries	P	P	P	P/C	P
Art, antique, furniture or electronics studio (retail, repair or fabrication; excludes auto and electronics sales or service)	P	P	P	NP	P
Games arcade establishments	P	P	P	NP	P
Theater, cinema, dance, music or other entertainment establishment	P	P	P	NP	P
Museums and other special purpose recreational institutions	P	P	P	NP	P
Fitness, recreational sports, gym, or athletic club	P	P	P	NP	P
Parks, greens, plazas, squares, and playgrounds	P	P	P	P	P
<b>Educational, Public Administration, Health Care and Other Institutional Uses</b>					
Business associations and professional membership organizations	P	P	P	P/C	P
Child day care and preschools	P	P	P	NP	P
Schools, libraries, and community halls	P	P	P	NP	P
Universities and Colleges	P/C	P/C	P	NP	P
Hospital	P	P	P	NP	P
Civic uses	P	P	P	NP	P
Social and fraternal organizations	P	P	P	P/C	P
Social services and philanthropic organizations	P	P	P	P/C	P
Religious Institutions	P	P	P	NP	P
Funeral homes	P	P	P	NP	P
<b>Residential Uses</b>					
Home Occupations	P/A	P/A	P/A	P/A	P/A
Multi-family residential					
Ground Floor	P/C	P	P/C	P	P
Upper Floors	P	P	P	P	P
Residential Lofts	P	P	P	P	P
Single-family residential attached dwelling unit (Townhomes)	P/C	P/C	P/C	P	P
Live-work unit	P	P	P	P	P

Character Zone	District D Core	District D Mixed Use	Highway Mixed Use	District D Neighborhood	District D Transition
<b>Manufacturing, Transportation, Communication, and Utility Uses</b>					
Wood, paper, and printing products manufacturing	NP	NP	NP	NP	P
Warehouse and storage	NP	NP	NP	NP	P/A
Miscellaneous manufacturing (included in this category are jewelry, silverware, personal metal goods, flatware, dolls, toys, games, musical instruments, office supplies, and signs.)	NP	NP	NP	NP	P
Wholesale trade establishment	NP	NP	NP	NP	P
Publishing (newspaper, books, periodicals, software)	NP	P	P	NP	P
Motion picture and sound recording	NP	P	P	NP	P
Telecommunications and broadcasting (radio, TV, cable, wireless communications, telephone, etc.)	NP	NP	P	NP	P
Information services and data processing	NP	P	P	NP	P
<b>Other Uses</b>					
Model homes for sales and promotion**	P	P	P	P	P
Hotels	P	P	P	NP	P
Parking, surface (primary use of property)	NP	NP	P	NP	P
Parking, surface (accessory use of property)	P	P	P	P	P
Parking, structured	P	P	P	P	P
Private attached garage	NP	NP	NP	P	P
Private detached garage	NP	NP	NP	P	P
Sales from kiosks	P	P	NP	NP	NP
Veterinary clinic	NP	P	P	NP	P
Community garden	P	P	P	P	P
Antennas including cell, accessory, and mounted on top of buildings	P/A/C	P/A/C	P/A/C	NP	P/A/C
Wind energy equipment	P/SUP	P/SUP	P/SUP	P/SUP	P/SUP
Solar energy equipment	P/A	P/A	P/A	P/A	P/A
Special Event	P/SUP	P/SUP	P/SUP	P/SUP	P/SUP
Rain harvesting equipment	P/A/C	P/A/C	P/A/C	P/A	P/A
Utility equipment (includes electrical transformers, gas meters, etc.)	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C

\*\* Model homes are limited to a time period until all the homes are sold in the neighborhood.

P= Permitted by right    NP= Not Permitted    P/C= Permitted with design criteria per Table 6.2    P/SUP = Permitted with a Specific Use Permit    P/A = Permitted Accessory Use    NA= Not applicable  
A = Accessory use to not exceed 25% of the primary use building square footage

6.3 Use Criteria: All uses listed as P/C in Table 6.1 shall also meet the following standards in Table 6.2

Use	Zone	Location & Design Criteria
<b>Non-Residential Uses</b>		
Any permitted use with a drive through facility	District D Core, District D Mixed Use, Highway Mixed Use, and District D Transition	<ul style="list-style-type: none"> <li>All drive through access (driveways) shall be from Type “B” Streets.</li> <li>Drive through lanes and/or canopies shall not have frontage along or be located along any Type “A” Streets.</li> <li>Drive through areas shall be screened by a 4’ high Street Screen.</li> </ul>
Universities and Colleges	District D Core & District D Mixed Use	<ul style="list-style-type: none"> <li>Shall be required to provide structured parking as part of the build-out for the university/college campus</li> </ul>

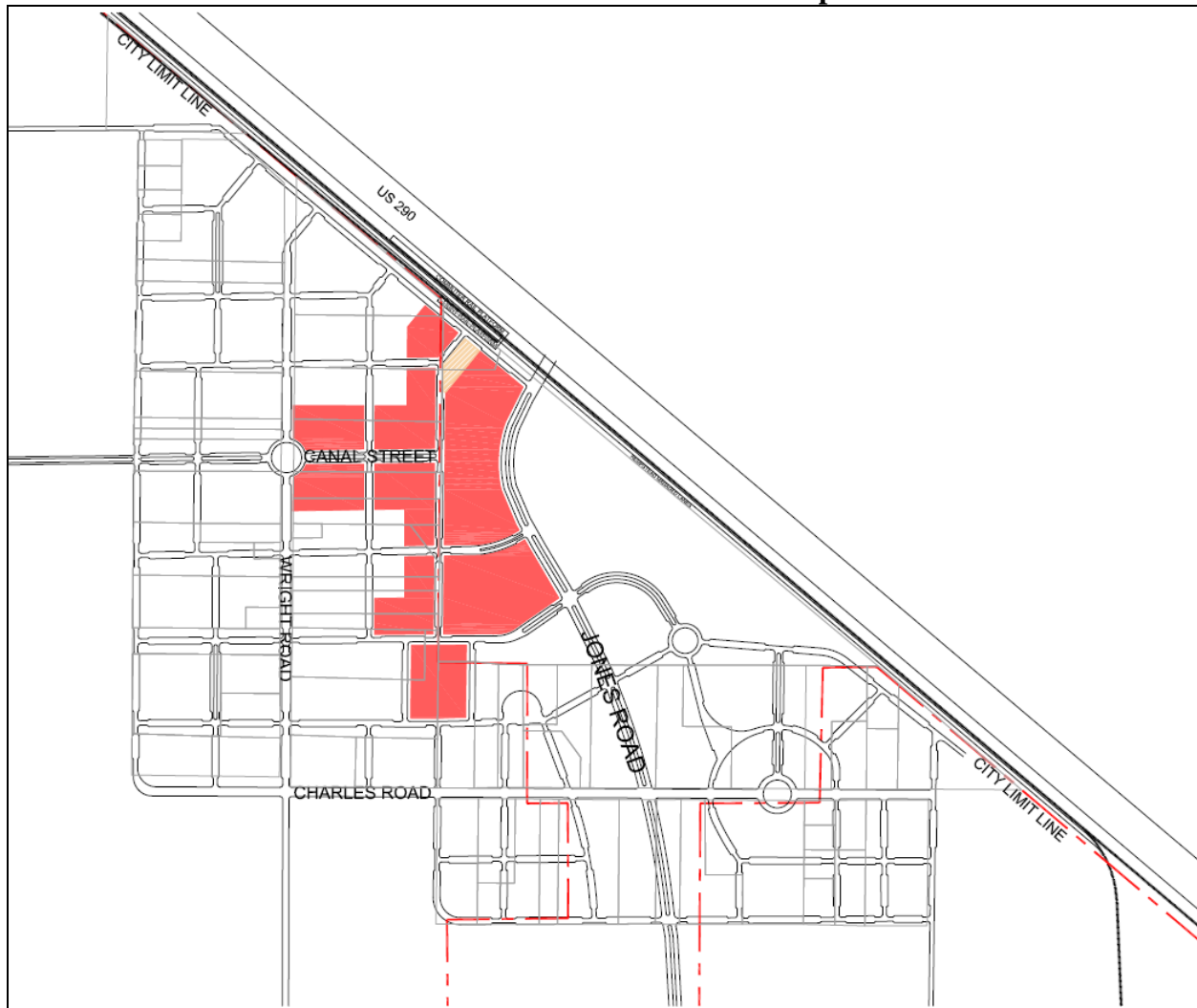
Table 6.2 – Use Criteria

<i>Use</i>	<i>Zone</i>	<i>Location &amp; Design Criteria</i>
Auto-related Sales and Services	Highway Mixed Use and District D Transition	<ul style="list-style-type: none"> <li>Gas pumps, canopies, and/or service bays shall not be located along any Type “A” Street frontage.</li> <li>No more than 50% of a block’s frontage along a Type “B” Street shall be occupied by gas pumps, canopies, and/or service bays.</li> <li>Any buildings associated with the use shall also have a pedestrian entrance at a Type “A” Street.</li> <li>No outdoor storage of vehicles or other products sold shall be permitted. All auto-related product displays shall be inside storefronts.</li> </ul>
Retail sales and service	District D Residential	<ul style="list-style-type: none"> <li>Shall only be permitted on corner lots in the District D Residential Zone</li> <li>Ground floors of the buildings shall be built to Retail Ready standards with 15’ ground floor clear height and H/C access.</li> <li>Building area shall not exceed 10,000 sq.ft.</li> </ul>
Finance, Insurance, and Real Estate establishments		
Food Service Uses such as full-service restaurants, cafeterias, bakeries and snack bars with <u>no drive through facilities</u>		
Business Associations and professional membership organizations		
Social and fraternal organizations		
Offices for business, professional, and technical uses	District D Residential	<ul style="list-style-type: none"> <li>Shall be permitted in any live-work building where the ground floor is built to Retail Ready standards with 15’ ground floor clear height and H/C access.</li> <li>All other buildings for office and art gallery uses shall be limited to 6,000 sq.ft.</li> </ul>
Art Galleries		
<b>Residential Uses</b>		
Multi-family residential Ground Floor	District D Core and Highway Mixed Use	<ul style="list-style-type: none"> <li>All ground floors along all Type “A” Streets and US 290/Hempstead Managed Lanes frontages shall be built to Retail Ready standards. Ground floors may be occupied by residential uses unless designated as Main Street Frontage.</li> <li>Ground floors of all buildings designated as Main Street Frontage on the Regulating Plan <u>shall not</u> be occupied by residential units and lodging rooms to a minimum depth of 30 feet as measured from the front building line.</li> </ul>
Single-family residential attached dwelling unit (Townhomes)	District D Core, District D Mixed Use, Highway Mixed Use	<ul style="list-style-type: none"> <li>Shall be permitted along Type “B” Streets</li> <li>Frontages along street intersections shall be built to Retail Ready standards for a minimum of 30’ along each street or the width of the lot, whichever is less.</li> </ul>
<b>Other Uses</b>		
Antennas including cell, accessory and mounted (Excluded from this category are freestanding and commercial antennas and equipment buildings)	District D Core, District D Mixed Use, Highway Mixed Use, and District D Transition	<ul style="list-style-type: none"> <li>Antennas shall be permitted on rooftops.</li> <li>Antennas shall be screened entirely with a screen of same color as the principal building.</li> <li>Antennas shall not be visible from adjacent Type “A” Street.</li> </ul>
Rain water harvesting equipment	District D Core, District D Mixed Use, Highway Mixed Use, and District D Transition	<ul style="list-style-type: none"> <li>Rain water harvesting equipment may not be installed along Type “A” Streets.</li> <li>On all other frontages, they shall be screened with a Street Screen at least as high as the equipment being screened.</li> </ul>
Utility equipment (includes electrical transformers, gas meters, etc)	All Zones	<ul style="list-style-type: none"> <li>Utility equipment shall not be installed with frontage on Type “A” Streets.</li> <li>On all other frontages, they shall be screened with a Street Screen at least as high as the equipment being screened.</li> </ul>

### Section 7. Building Form and Development Standards

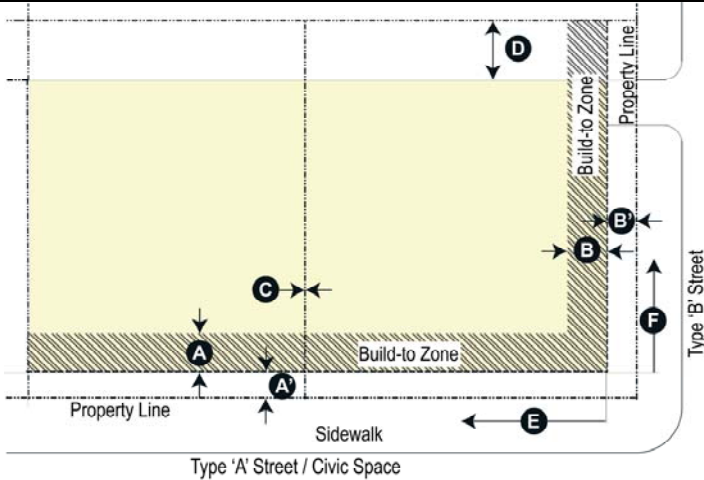
7.1 The following section establishes the Building Form and Development Standards for all Character Zones within Jersey Village Crossing. Diagrams and reference letters are used for illustrations purposes only. Reference letters may not be in continuous sequence. District D Core Zone

#### District D Core Zone Location Map



*Note: This map is for reference only. Refer to the Regulating Plan (Appendix B) for all requirements*

**7.1.1 Building Placement**



**Legend**

- Property Line
- Setback Line
- Build-to Zone
- Building Area

**Build-To Zone (BTZ)**

(Distance from property line to the edge of the BTZ)

Front (Type "A" Street and Civic Space)	5 – 10 feet (see #1)	<b>A</b>
Front (Type "B" Street)	5 – 10 feet (see #1)	<b>B</b>

**Setback (distance from property line)**

Front (Type "A" Street and Civic Space )	5 feet (min.) – 10 feet (max.)	<b>A'</b>
Front (Type "B" Street)	5 feet (min.) – 10 feet (max.)	<b>B'</b>
Side	0 feet (see #2)	<b>C</b>
Rear	5 feet	<b>D</b>

**Building Frontage**

Building Frontage required along Type "A" Street/civic space BTZ	90% (min.) (see #3 and #7)	<b>E</b>
Building Frontage required along Type "B" Street BTZ	25% (min.) (see #3 and #7)	<b>F</b>

**7.1.2 Block Standards**

Block face dimensions	250 – 400 feet
Block perimeter	1400 feet (max.)

**7.1.3 Commercial Frontage Requirements**

Ground floors of all buildings fronting on Type "A" Streets and the US 290/ Hempstead Managed Lanes shall be built to Retail Ready standards including first floor-to-floor height, ingress and egress, handicap access, and first floor elevation flush with the sidewalk.

**7.1.4 Special Frontage Requirements**

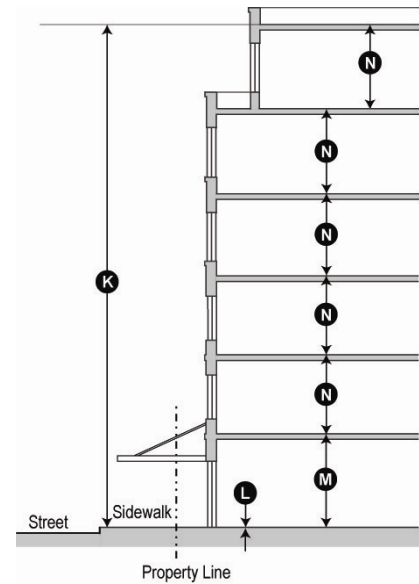
*Requirements Specific to Main Street Frontage*

Ground floors of all buildings designated as Main Street Frontage on the Regulating Plan shall not be occupied by residential units and lodging rooms to a minimum depth of 30 feet as measured from the front building line.

*Requirements Specific To Station Frontage*

Ground floors of all buildings designated as Station Frontage on the Regulating Plan shall provide shaded areas to a minimum depth of 6 feet. Shaded devices may include arcades, galleries, awnings, canopies, etc.

**7.1.5 Building Height**



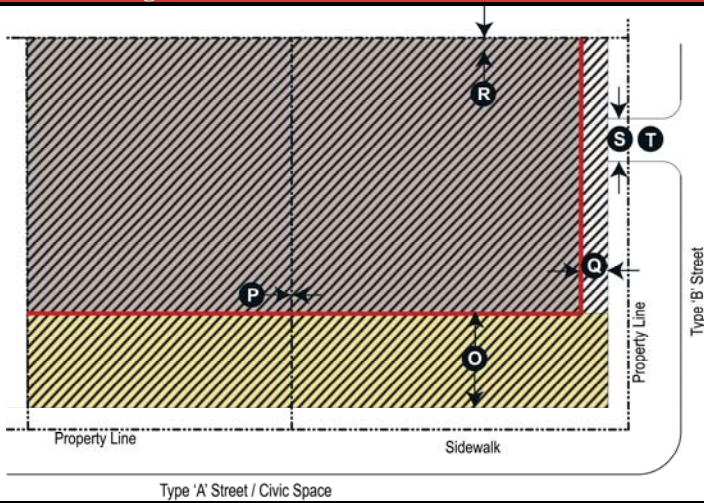
**Principal Building Standards**

Building maximum	6 stories (see #4 and #8)	<b>K</b>
First floor to floor height	15 feet (min.) (see #5)	<b>M</b>
Ground floor finish level	12 inches max. above sidewalk (for ground floor Retail Ready buildings)	<b>L</b>
Upper floor(s) height (floor-to-floor)	10 feet min.	<b>N</b>

**Notes**

- #1 – The area between the building and the edge of the BTZ at the public sidewalk shall be paved flush with the sidewalk.
- #2 – Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.
- #3 – Corner building street façades shall be built to the BTZ for a minimum of 30' from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the build-to zone standards.
- #4 – Attics and mezzanines less than 7' (avg.) height shall not be counted as a story.
- #5 – First floor heights shall not apply to parking structures.
- #6 – All buildings in the District D Core Zone shall meet the Building Design Standards in Section 8.
- #7 – Any frontage along all streets (except alleys) not defined by a building at the BTZ shall be defined by a 4-foot high Street Screen. Furthermore service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. The Street Screen shall be of either the same building material as the principal structure on the lot or masonry or a living screen composed of shrubs planted to be opaque at maturity. Species shall be selected from the Jersey Village Crossing Planting List in Appendix C of this ordinance. The required Street Screen shall be located within the BTZ along the corresponding frontage.

**7.1.6 Parking & Service Access**



**Legend**

- Property Line
- Parking Setback
- Surface Parking Area
- Above Grade Parking Area
- Building Footprint

**(i) Parking Location**

**Surface/At Grade Parking**

Type "A" Street and Civic Space setback	Shall be located behind the principal building	<b>O</b>
Type "B" Street setback	Min. of 3 feet behind the building façade line along that street	<b>Q</b>
Side setback (distance from property line)	0 feet min.	<b>P</b>
Rear setback (distance from property line)	0 feet min.	<b>R</b>

**Above Grade Parking (distance from property line)**

Setback along Type "A" Street, Type "B" Street, Slip Road Frontage and Civic Space	0 feet min.	<b>O</b>
Side and rear setbacks	0 feet min.	
Upper Floors	May be built up to the building line	

**(ii) Required Off-Street Parking Spaces (see #11 and #12)**

Non-residential uses	1 space/300 square feet (gross)
Residential uses	1.0 space/unit

**(iii) Driveways and Service Access**

Parking driveway width	20 feet max. (except when drives may need to be wider to address service access or fire lane standards)	<b>S</b>
Driveways and off-street loading and unloading shall not be located on a Type "A" Streets.		<b>T</b>

Porte cocheres may be permitted on Type "A" Streets to provide drop-off and valet service.

Shared driveways and cross access easements are encouraged between lots to minimize curb cuts.

If driveway and/or off-street service loading and unloading access is provided from a Type "A" Street, such access shall be deemed as temporary and cross access easements along the rear of the property shall be required when adjoining properties are undeveloped.

**7.1.7 Encroachments**

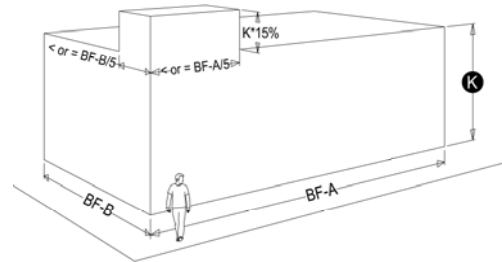
Canopies, signs, awnings and balconies may encroach over the sidewalk as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane.

**7.1.8 Applicability**

Building Form and Development Standards in this Section shall apply to all development within this Character Zone.

**Notes**

#8 – Corner buildings may exceed the maximum building height by 15% for 20% of the building's frontage along each corresponding street façade.



#9 - Ground and roof mounted mechanical equipment shall be screened from direct ground level view from adjoining public rights-of-way. In addition to a parapet wall no lower than 36 inches, the perimeter of any visible roof mounted mechanical equipment shall be circumscribed by a wall or permanent screen that is at least as tall as the equipment itself.

#10 – Setbacks and build-to lines on recessed entries and arcade buildings shall be measured from the building façade line.

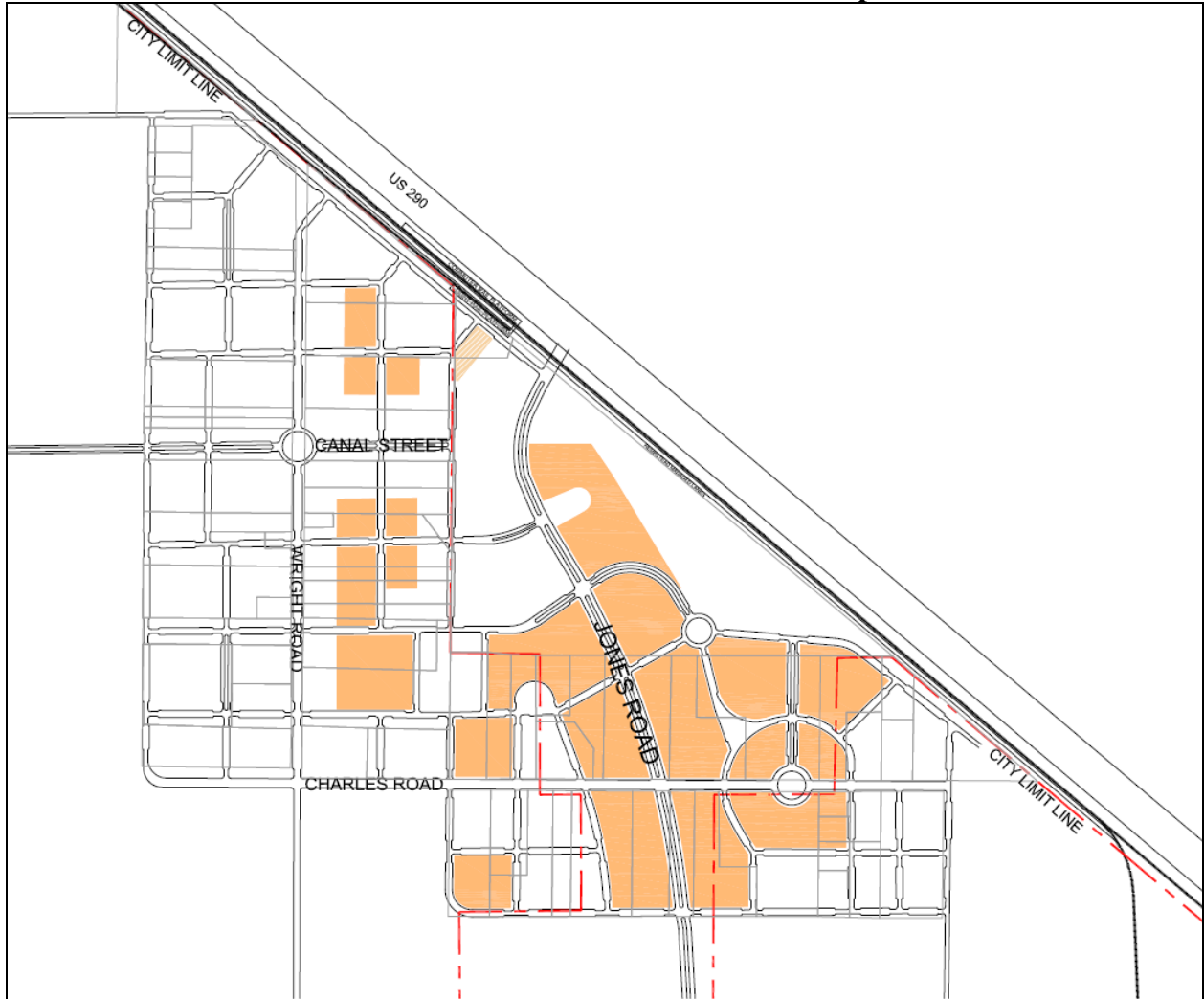
#11 – Required parking may be provided anywhere within the District D Core Zone.

#12 –Chapter 14, Article XI of the City of Jersey Village Code of Ordinances shall apply for design of off-street parking areas.



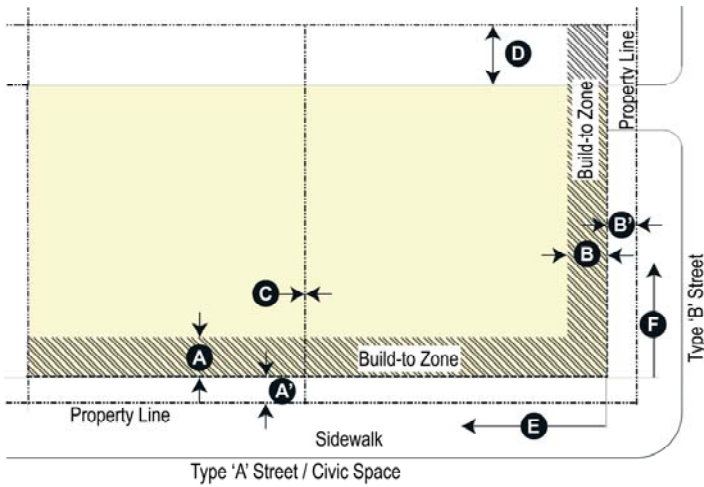
7.2 District D Mixed Use Zone

**District D Mixed Use Zone Location Map**



*Note: This map is for reference only. Refer to the Regulating Plan (Appendix B) for all requirements*

**7.2.1 Building Placement**



**Legend**

- Property Line
- Setback Line
- ▨ Build-to Zone
- Building Area

**Build-To Zone (BTZ)**

(Distance from edge of the property line to the edge of the BTZ)

Front (Type "A" Street and Civic Space)	5 – 10 feet (see #1)	<b>A</b>
Front (Type "B" Street)	5 – 10 feet (see #1)	<b>B</b>

**Setback**

(Distance from property line)

Front (Type "A" Street and Civic Space)	5 feet (min.) – 10 feet (max)	<b>A'</b>
Front (Type "B" Street)	5 feet (min.) – 10 feet (max)	<b>B'</b>
Side	0 feet (see #2)	<b>C</b>
Rear	0 feet (see #2)	

**Building Frontage**

Building Frontage required along Type "A" Street/civic space BTZ	80% (min.) (see #3 and #7)	<b>E</b>
Building Frontage required along Type "B" Street BTZ	25% (min.) (see #3 and #7)	<b>F</b>

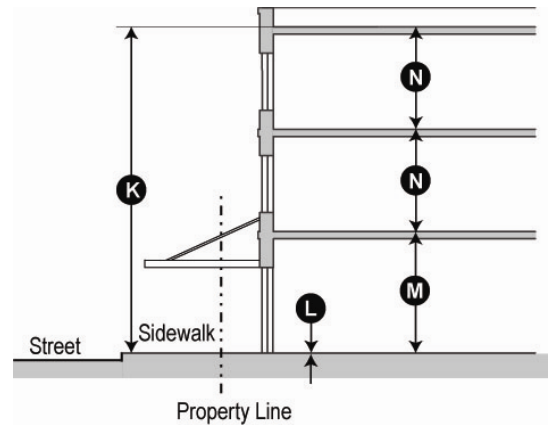
**7.2.2 Block Standards**

Block face dimensions	250 – 400 feet
Block perimeter	1500 feet (maximum)

**7.2.3 Commercial Frontage Requirements**

Ground floors of all buildings fronting on Type "A" Streets shall be built to Retail Ready standards including first floor-to-floor height, ingress and egress, handicap access, and first floor elevation flush with the sidewalk.

**7.2.4 Building Height**



**Principal Building Standards**

Building maximum	3 stories (see #4 and #7)	<b>K</b>
First floor to floor height	15 feet min. (see #5)	<b>M</b>
Ground floor finish level	12 inches max. above sidewalk (for ground floor Retail Ready buildings)	<b>L</b>
Upper floor(s) height (floor-to-floor)	10 feet min.	<b>N</b>

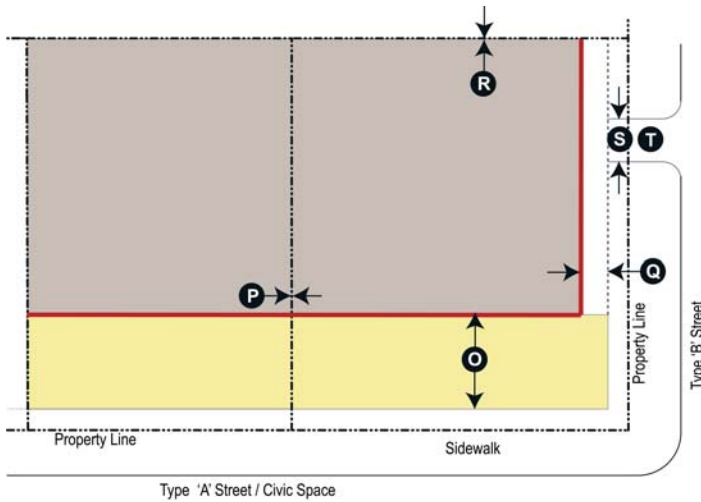
**Accessory Building Standards**

Building maximum	2 stories (see #4)
------------------	--------------------

**Notes**

- #1 – The area between the building and the edge of the BTZ at the public sidewalk shall be paved flush with the sidewalk.
- #2 – Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.
- #3 – Corner building street façades shall be built to the BTZ for a minimum of 30 feet from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the build-to zone standards.
- #4 – Attics and mezzanines less than 7' (avg.) height shall not be counted as a story.
- #5 – All buildings in the District D Mixed Use Zone shall meet the Building Design Standards in Section 8.
- #6 – Any frontage along all streets (except alleys) not defined by a building at the BTZ shall be defined by a 4-foot high Street Screen, furthermore service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. The Street Screen shall be of either the same building material as the principal structure on the lot or masonry or a living screen composed of shrubs planted to be opaque at maturity. Species shall be selected from the Jersey Village Crossing Planting List in Appendix C of this ordinance. The required Street Screen shall be located within the BTZ along the corresponding frontage.

**7.2.5 Parking & Service Access**



**Legend**

- Property Line
- █ Surface/At Grade Parking Area
- █ Building Footprint
- ▭ Parking Setback

**(i) Parking Location**

Surface/At Grade Parking		
Type "A" Street, Slip Road Frontage and Civic Space setback	Shall be located behind the principal building	<b>O</b>
Type "B" Street setback	Min. of 3 feet behind the building façade line along that street	<b>Q</b>
Side setback (distance from property line)	0 feet min.	<b>P</b>
Rear setback (distance from property line)	0 feet min.	<b>R</b>

**(ii) Required Off-Street Parking Spaces** (see #9 and #10)

Non-residential uses	1 space/300 square feet (gross)
Residential uses	1.5 space/unit

**(iii) Driveways and Service Access**

Parking driveway	20 feet max. (except when drives may need to be wider to address service access or fire lane standards)	<b>S</b>
Driveways and off-street loading and unloading	shall not be located on a Type "A" Streets.	<b>T</b>

Porte cocheres may be permitted on Type "A" Streets to provide drop-off and valet service.

Shared driveways and cross access easements are encouraged between lots to minimize curb cuts.

If driveway and/or off-street service loading and unloading access is provided from a Type "A" Street, such access shall be deemed as temporary and cross access easements along the rear of the property shall be required when adjoining properties are undeveloped.

**7.2.6 Encroachments**

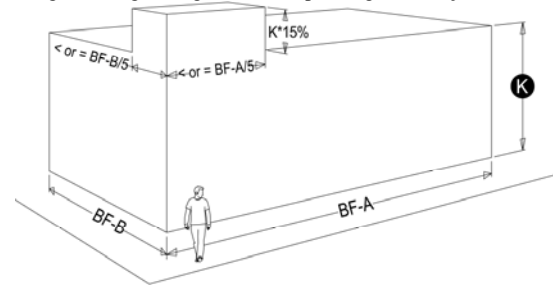
Canopies, signs, awnings and balconies may encroach over the sidewalk as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane.

**7.2.7 Applicability**

Building Form and Development Standards in this Section shall apply to all development within this Character Zone.

**Notes**

#7 - Corner buildings may exceed the maximum building height by 15% for 20% of the building's frontage along each corresponding street façade.



#8 - Ground and roof mounted mechanical equipment shall be screened from direct ground level view from adjoining public rights-of-way. In addition to a parapet wall no lower than 36 inches, the perimeter of any visible roof mounted mechanical equipment shall be circumscribed by a wall or permanent screen that is at least as tall as the equipment itself.

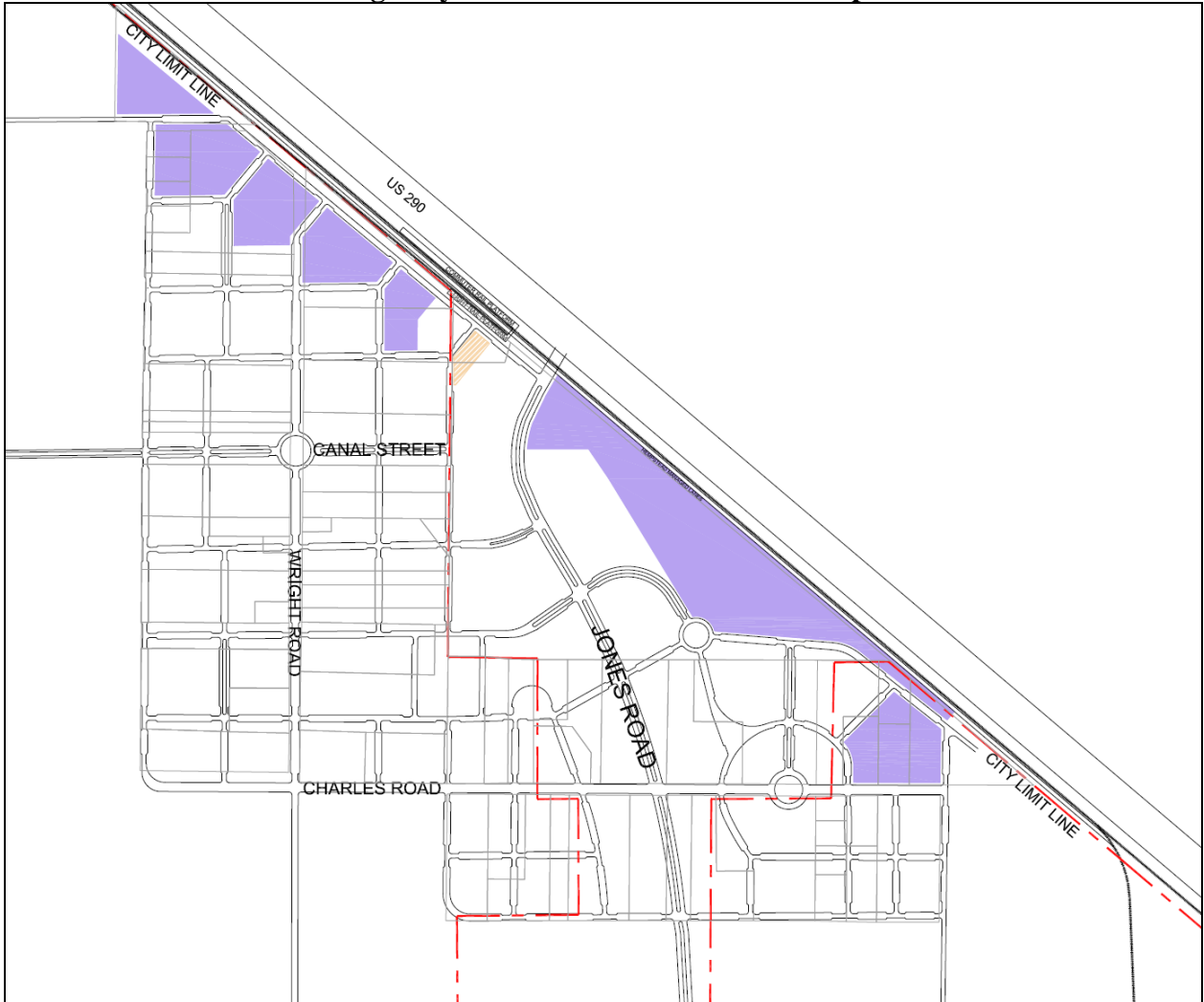
#9 - Setbacks and build-to lines on recessed entries and arcade buildings shall be measured from the building façade line.

#10 - Required parking may be provided anywhere within the District D Mixed Use Zone.

#11 - Chapter 14, Article XI of the City of Jersey Village Code of Ordinances shall apply for design of off-street parking areas.

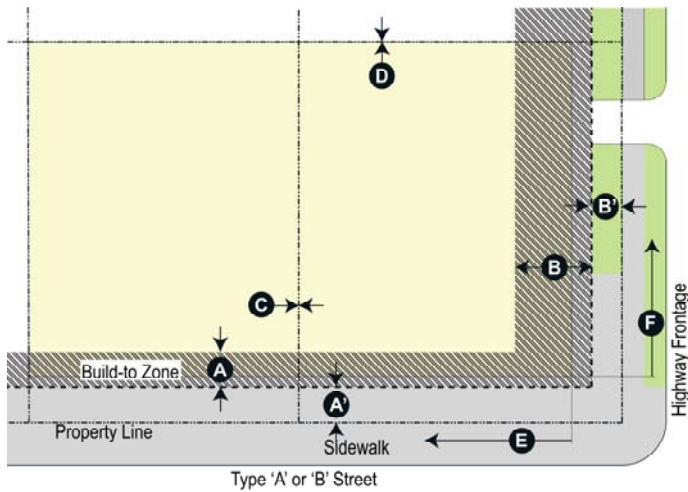
7.3 Highway Mixed Use

**Highway Mixed Use Zone Location Map**



*Note: This map is for reference only. Refer to the Regulating Plan (Appendix B) for all requirements*

**7.3.1 Building Placement**



**Legend**

----- Property Line	Building Area	Build-to Zone
----- Setback Line	Landscape Zone	Sidewalk

**Build-To Zone (BTZ)**

**(Distance from Property Line to edge of the BTZ)**

Front (Type "A" or "B" Street/Civic Space)	5 feet – 10 feet (see #1)	<b>A</b>
Front (Highway Frontage)	10 feet – 75 feet (see #2)	<b>B</b>

**Setback**

**(Distance from property line)**

Front (Type "A" or "B" Street)	5 feet (min.)	<b>A'</b>
Front (Highway Frontage)	10 feet (min.) – 75 feet (max.)	<b>B'</b>
Side (distance from property line)	0 feet (see #3)	<b>C</b>
Rear (distance from property line)	0 feet (see #3)	<b>D</b>

**Building Frontage**

Building Frontage required along Type "A" Street BTZ	80% (min.) (see #3 and #7)	
Building Frontage required Type "B" Street BTZ	25% (min.) (see #3 and #7)	<b>E</b>
Building Frontage required along Highway Frontage BTZ	25% (min.) (see #3 and #7)	<b>F</b>

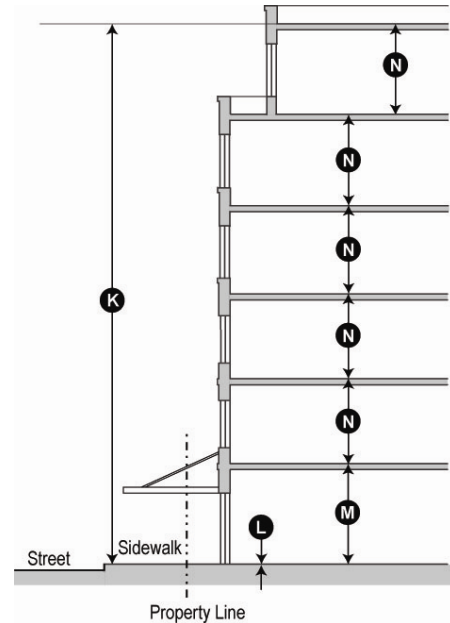
**7.3.2 Block Standards**

Block face dimensions	250 (min.) – 600 feet (max.)
Block perimeter	2000 feet (max.)

**7.3.3 Commercial Frontage Requirements**

Ground floors of all buildings fronting on US 290/Hempstead Managed Lanes shall be built to Retail Ready standards including first floor-to-floor height, ingress and egress, handicap access, and first floor elevation flush with the sidewalk.

**7.3.4 Building Height**



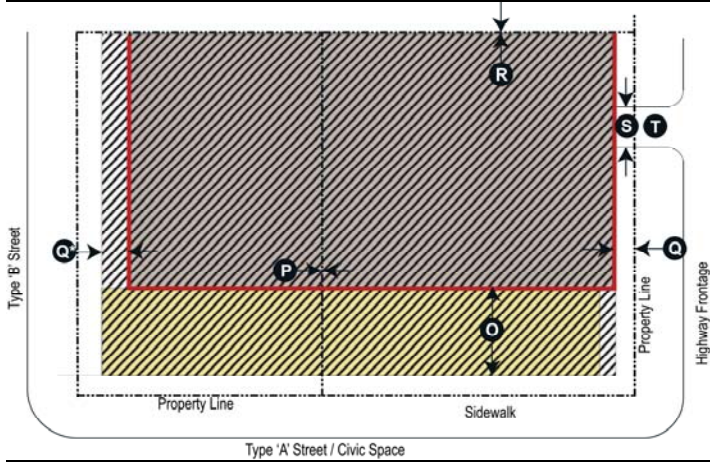
**Principal Building Standards**

Building maximum	6 stories (see # 5 and #8)	<b>K</b>
First floor to floor height	15 feet min. (see #6)	<b>M</b>
Ground floor finish level (for ground floor Retail Ready buildings)	12 inches max. above sidewalk	<b>L</b>
Upper floor(s) height (floor-to-floor)	10 feet min.	<b>N</b>

**Notes**

- #1 – Along Type "A" and "B" Streets, the area between the building and the edge of the BTZ at the public sidewalk shall be paved flush with the sidewalk.
- #2 – Along the Highway Frontage, the area between the building and property line at the public sidewalk shall include a 6' wide (min.) landscaping strip with street trees planted at 40' on center (average). However, at street intersections, where paving is optional up to 50' along the building façade, tree wells may be used for street trees. Species of the street trees shall be selected from the Planting List in Appendix C of Section 14-120.
- #2 – Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.
- #3 – Corner building street façades shall be built to the BTZ for a minimum of 20 feet from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the build-to zone standards.
- #4 – Attics and mezzanines less than 7' (avg.) height shall not be counted as a story.
- #5 – First floor heights shall not apply to parking structures.
- #6 – All buildings in the Highway Mixed Use shall meet the Building Design Standards in Section 8.
- #7 – Any frontage along all streets (except alleys) not defined by a building at the BTZ shall be defined by a 4-foot high Street Screen, furthermore service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. The Street Screen shall be of either the same building material as the principal structure on the lot or masonry or a living screen composed of shrubs planted to be opaque at maturity. Species shall be selected from the Jersey Village Crossing Planting List in Appendix C of this ordinance. The required Street Screen shall be located within the BTZ along the corresponding frontage.

**7.3.5 Parking & Service Access**



**Legend**

- Property Line
- Parking Setback
- Above Grade Parking Area
- Building Footprint
- Surface/At Grade Parking Area

**(i) Parking Location**

**Surface/At Grade Parking**

Highway Frontage	Shall be located 10' behind the property line	<b>Q</b>
Type "A" Street	Shall be located behind the principal building	<b>O</b>
Type "B" Street setback	Min. of 3 feet behind the building façade line along that street	<b>Q*</b>
Side setback (distance from property line)	0 feet min.	<b>P</b>
Rear setback (distance from property line)	0 feet min.	<b>R</b>

**Above Grade Parking**

Setback along Type "A" Street, Type "B" Street, Slip Road Frontage and Civic Space	At or behind the building façade line along that street
Highway frontage, side and rear setbacks	At or behind the building façade line along that street

**(ii) Required Off-Street Parking Spaces** (see #11 and #12)

Non-residential uses	1 space/300 square feet (gross)
Residential uses	1.5 space/unit

**(iii) Driveways and Service Access**

Parking driveway width	TXDOT standards on Highway frontage road and 20 feet max. on all District D Streets (except when drives may need to be wider to address service access or fire lane standards)	<b>S</b>
------------------------	--	----------

Porte cocheres may be permitted on Type "A" Streets to provide drop-off and valet service. **T**

Shared driveways and cross access easements are encouraged between lots to minimize curb cuts.

If driveway and/or off-street service loading and unloading access is provided from Type "A" Streets, such access shall be deemed as temporary and cross access easements along the rear of the property shall be required when adjoining properties are undeveloped.

**7.3.6 Encroachments**

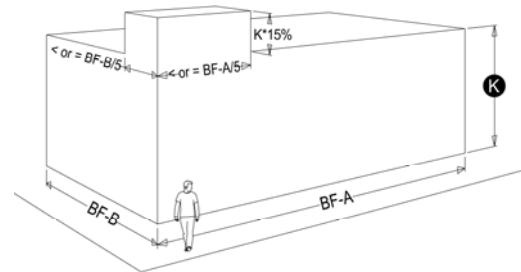
Canopies, signs, awnings and balconies may encroach over the sidewalk as long as the vertical clearance is a minimum of 8 feet. In no case shall an encroachment be located over an on-street parking or travel lane.

**7.3.7 Applicability**

Building Form and Development Standards in this Section shall apply to all development within this Character Zone.

**Notes**

#8 – Corner buildings may exceed the maximum building height by 15% for 20% of the building's frontage along each corresponding street façade.



#9 – Ground and roof mounted mechanical equipment shall be screened from direct ground level view from adjoining public rights-of-way. In addition to a parapet wall no lower than 36 inches, the perimeter of any visible roof mounted mechanical equipment shall be circumscribed by a wall or permanent screen that is at least as tall as the equipment itself.

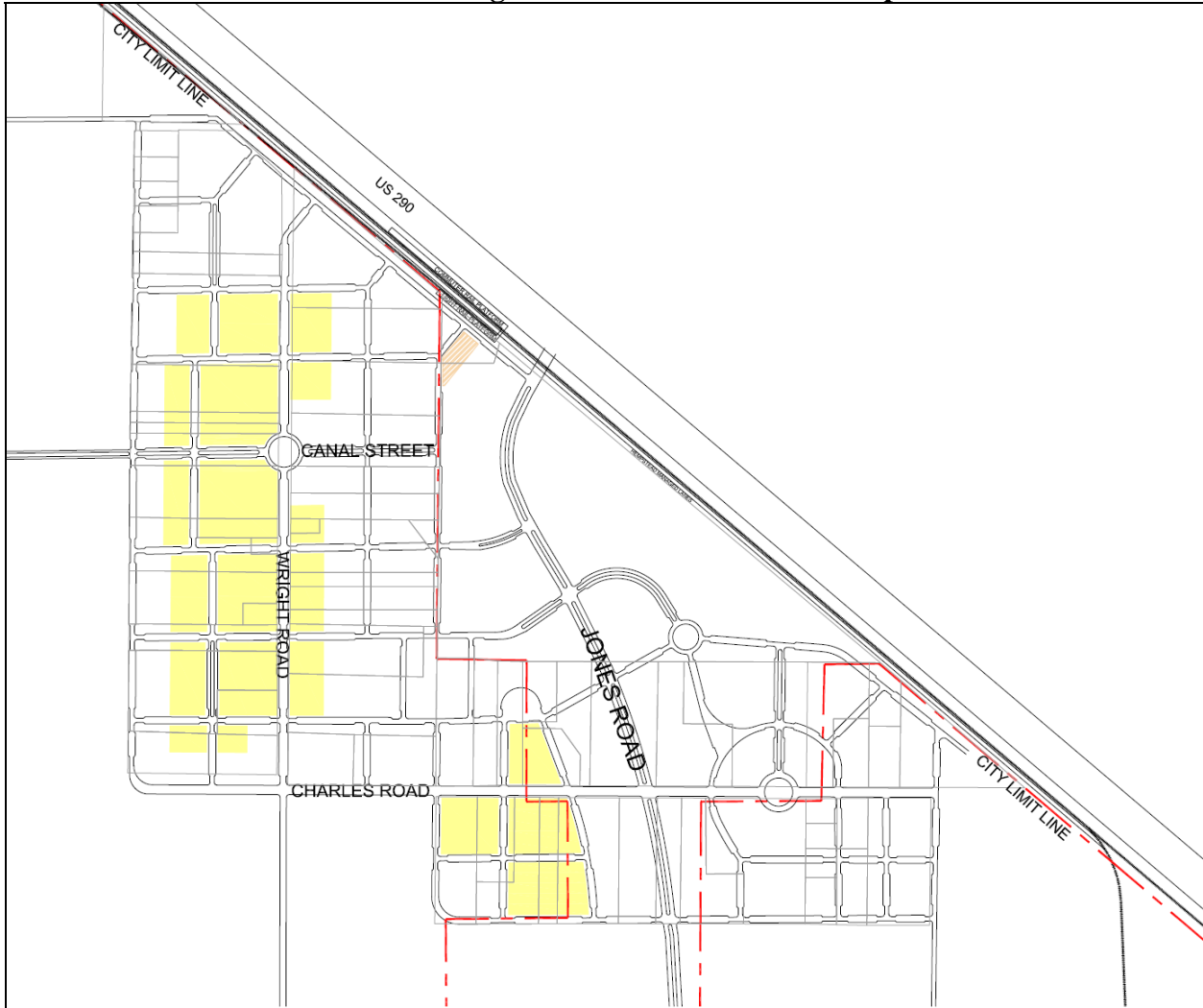
#10 – Setbacks and build-to lines on recessed entries and arcade buildings shall be measured from the building façade line.

#11 – Required parking may be provided anywhere within the Highway Mixed Use Zone.

#12 – Chapter 14, Article XI of the City of Jersey Village Code of Ordinances shall apply for design of off-street parking areas.

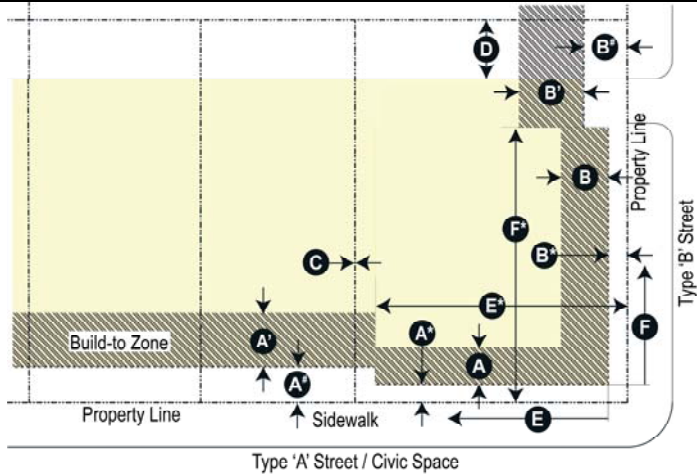
7.4 District D Neighborhood Zone

**District D Neighborhood Zone Location Map**

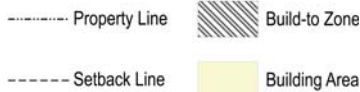


*Note: This map is for reference only. Refer to the Regulating Plan (Appendix B) for all requirements*

**7.4.1 Building Placement**



**Legend**



**Build-To Zone (BTZ)**

**(Distance from property line to edge of the BTZ)**

*Corner Lots:*

Front (Type "A" Street and Civic Space)	5 – 10 ft. (see #2)	<b>A</b>
Front (Type "B" Street)	5 – 10 ft. (see #2)	<b>B</b>
Width of intersection (corner lot) build-to zone (both Type "A" and "B" Streets)	25 ft. (min.) 50 ft. (max.)	<b>E*</b> <b>F*</b>

*Interior Lots:*

Front (Type "A" Street and Civic Space)	10 – 25 ft.	<b>A'</b>
Front (Type "B" Street)	10 – 25 ft.	<b>B'</b>

**Setback (Distance from property line)**

Front (Type "A" Street) (Corner Lots)	5 ft. (min.) – 10 ft. (max)	<b>A*</b>
Front (Type "A" Street) (Interior Lots)	10 ft. (min.) – 25 ft. (max)	<b>A#</b>
Front (Type "B" Street) (Corner Lots)	5 ft. (min.) – 10 ft. (max)	<b>B*</b>
Front (Type "B" Street) (Interior Lots)	10 ft. (min.) – 25 ft. (max)	<b>B#</b>
Side	0 ft. (see #1)	<b>C</b>
Rear	10 ft.	<b>D</b>

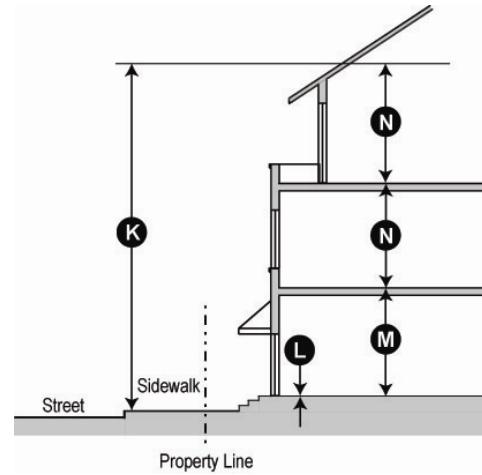
**Building Frontage**

Building Frontage required along Type "A" Street/Civic Space BTZ	60% (min.) (see #3 and #6)	<b>E</b>
Building Frontage required along Type "B" Street BTZ	30% (min.) (see #3 and #6)	<b>F</b>

**7.4.2 Block Standards**

Block face dimensions	300 – 600 ft. (maximum)
Block perimeter	2000 ft. (maximum)

**7.4.3 Building Height**



**Principal Building Standards**

Building maximum	3 stories (see #4 and #7)	<b>K</b>
First floor to floor height	15 ft. min. for non-residential 10 ft. min for residential	<b>M</b>
Ground floor finish level	12 in. max. above finished sidewalk (for ground floor non-residential uses); 18 in. min. (for residential uses)	<b>L</b>
Upper floor(s) height (floor-to-floor)	10 ft. min.	<b>N</b>

**Accessory Building Standards**

Building maximum	2 stories
------------------	-----------

**7.4.4 Commercial Frontage Requirements**

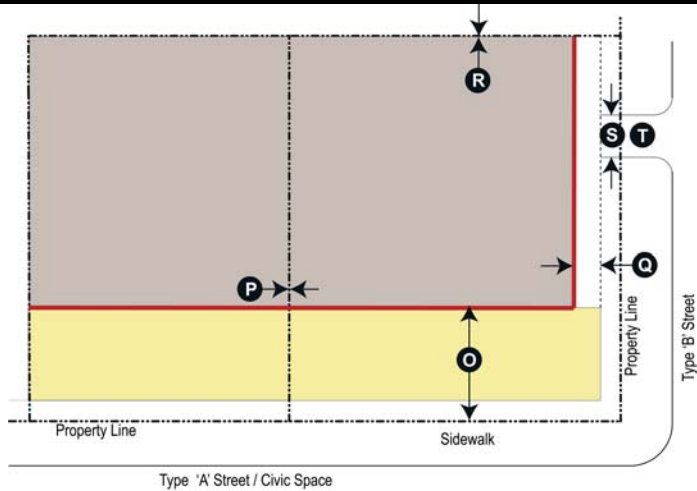
Ground floors of all buildings at intersections, for a minimum of 30 ft. along each street frontage, may be built to Retail Ready standards including first floor-to-floor height, ingress and egress, handicap access, and first floor elevation flush with the sidewalk.

**Notes**

- #1 – Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.
- #2 - Along Type "A" and "B" Street corner lots, the area between the building and the edge of the BTZ at the public sidewalk shall be paved flush with the sidewalk.
- #3 – Corner building street façades must be built to the BTZ for a minimum of 30' from the corner along both streets or the width of the corner lot, whichever is lesser.
- #4 – Attics and mezzanines less than 7' (avg.) height shall not be counted as a story.
- #5 – All buildings in the District D Neighborhood Zone shall meet the Building Design Standards in Section 8.
- #6 – Any frontage along all streets (except alleys) not defined by a building at the BTZ shall be defined by a 4-foot high Street Screen, furthermore service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. The Street Screen shall be of either the same building material as the principal structure on the lot or masonry or a living screen composed of shrubs planted to be opaque at maturity. Species shall be selected from the Jersey Village Crossing Planting List in Appendix C of this ordinance. The required Street Screen shall be located within the BTZ along the corresponding frontage.



**7.4.5 Parking & Service Access**



**Legend**

Property Line	Surface/At Grade Parking Area
Parking Setback	Building Footprint

**(i) Parking Location**

**Surface/At Grade Parking (Distance from property line)**

Type "A" Street and Civic Space setback	25 ft.	<b>O</b>
Type "B" Street setback	10 ft.	<b>Q</b>
Side setback	0 ft.	<b>P</b>
Rear setback	5 ft.	<b>R</b>

**(ii) Required Off-Street Parking Spaces (see #10)**

Non-residential uses	1 space/300 sq. ft. (gross)
Residential uses	1.5 space/unit

**(iii) Driveways and Service Access**

Parking driveway width	20 ft. max. (except when drives may need to be wider to address service access or fire lane standards)	<b>S</b>
Driveways and off-street loading and unloading shall not be located on a Type "A" Streets.		<b>T</b>

Shared driveways and cross access easements are encouraged between lots to minimize curb cuts.

**7.4.6 Encroachments**

Corner Lots: Canopies, signs, awnings and balconies may encroach over the sidewalk as long as the vertical clearance is a minimum of 8 ft. In no case shall an encroachment be located over an on-street parking or travel lane.

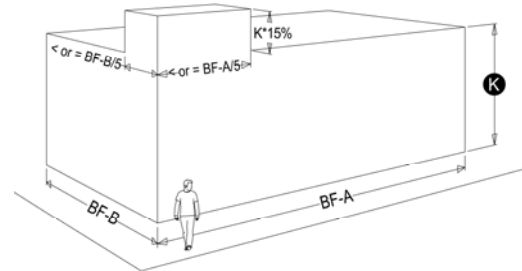
Interior Lots: Porches, stoops, awnings, signs, balconies, bay windows and other architectural features may encroach into required setback areas, provided they do not encroach over the front property line.

**7.4.7 Applicability**

Building Form and Development Standards in this Section shall apply to all development within this Character Zone.

**Notes**

#7 – Corner buildings may exceed the maximum building height by 15% for 20% of the building's frontage along each corresponding street façade.



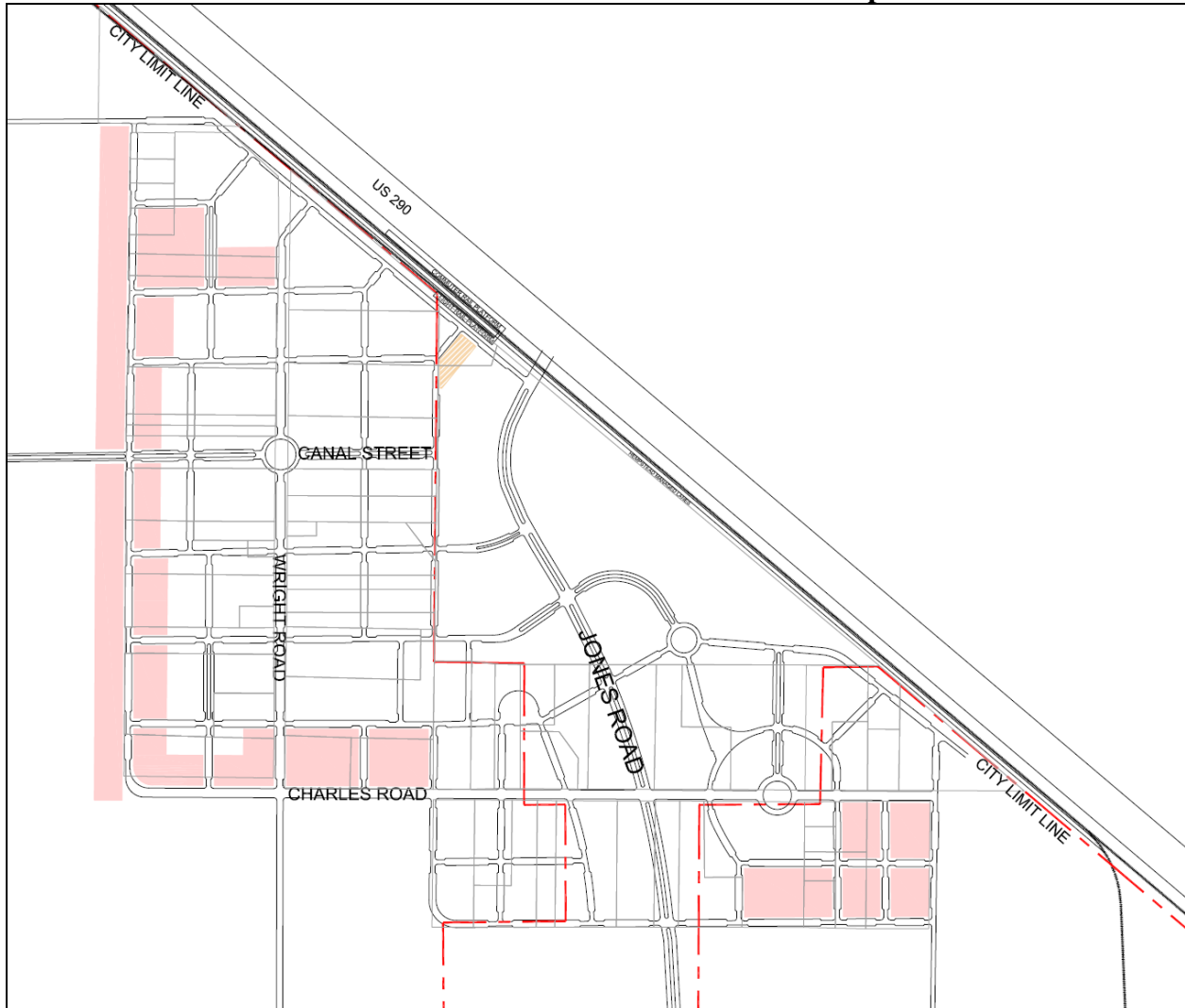
#8 - Ground and roof mounted mechanical equipment shall be screened from direct ground level view from adjoining public rights-of-way. In addition to a parapet wall no higher than 42", the perimeter of any visible roof mounted mechanical equipment shall be circumscribed by a wall or permanent screen that is at least as tall as the equipment itself.

#9 – Setbacks and build-to lines on recessed entries and arcade buildings shall be measured from the front of façade with the recessed entry or arcade.

#10 – Chapter 14, Article XI of the City of Jersey Village Code of Ordinances shall apply for design of off-street parking areas.

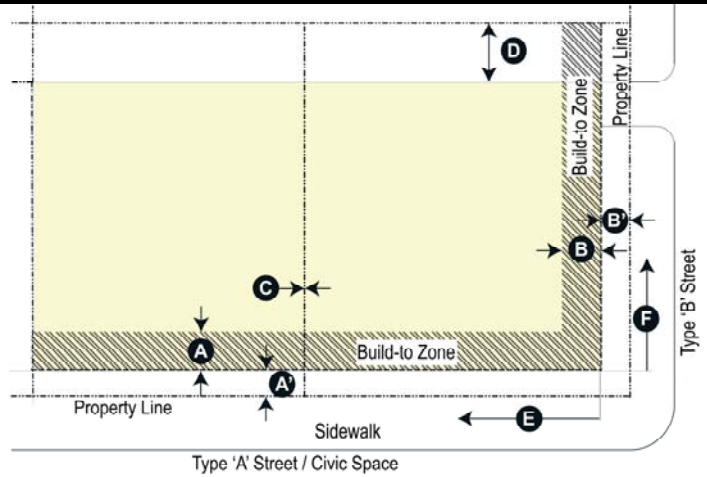
7.5 District D Transition Zone

**District D Transition Zone Location Map**



*Note: This map is for reference only. Refer to the Regulating Plan (Appendix B) for all requirements*

**7.5.1 Building Placement**



**Legend**



**Build-to Zone (BTZ)**

(Distance from property line to edge of the zone)

Front (Type "A" Street / Civic Space)	5' – 15'	<b>A</b>
Front (Type "B" Street)	5' – 15'	<b>B</b>

**Setback (Distance from the property line)**

Front (Type "A" Street / Civic Space)	5' (min.) 15' (max.)	<b>A</b>
Front (Type "B" Street)	5' (min.) 15' (max.)	<b>B</b>
Side	0' (min.) (see #1)	<b>C</b>
Rear	5' (min.) 10' (min. next to District D Neighborhood Zone)	<b>D</b>

**Building Frontage**

Building Frontage required along Type "A" Street/civic space BTZ	60% (min.) (see #2 and #5)	<b>E</b>
Building Frontage required along Type "B" Street BTZ	25% (min.) (see #2 and #5)	<b>F</b>

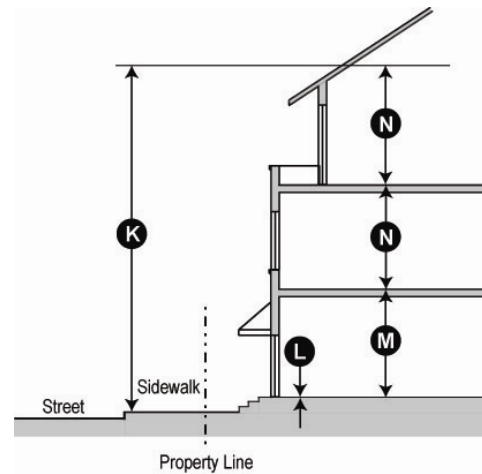
**7.5.2 Block Standards**

Block face dimensions	600 ft. (maximum)
Block perimeter	2000 ft. (maximum)

**7.5.3 Commercial Frontage Requirements**

Ground floors of all buildings fronting on Type "A" Streets shall be built to Retail Ready standards including first floor-to-floor height, ingress and egress, handicap access, and first floor elevation flush with the sidewalk.

**7.5.4 Building Height**



**(i) Principal Building Standards**

Building minimum	None	
Building maximum	3 stories (see #4 and #6)	<b>K</b>
First floor to floor height (along Type "A" Streets)	15' (min.) (see #3)	<b>M</b>
First floor to floor height (fronting on all other streets)	10' min.	<b>M</b>
Ground floor finish level	12 in. max. above sidewalk (for ground floor commercial buildings and along Type "A" Streets); 18 in. min. (for ground floor residential uses)	<b>L</b>
Upper floor(s) height	10' min.	<b>N</b>

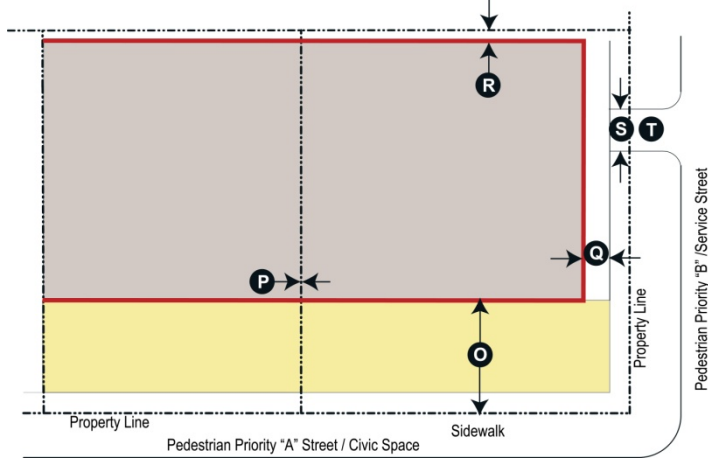
**(ii) Accessory Building Standards**

Building maximum	2 stories
------------------	-----------

**Notes**

- #1 – Side setbacks shall be based on minimum fire separation required between buildings, if applicable.
- #2 – Corner building street façades must be built to the BTZ for a minimum of 25' from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the build-to zone standards.
- #3 – First floor heights shall not apply to parking structures.
- #4 – Attics and mezzanines less than 7' (avg.) height shall not be counted as a story.
- #5 – Any frontage along all streets (except alleys) not defined by a building at the BTZ shall be defined by a 4-foot high Street Screen, furthermore service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. The Street Screen shall be of either the same building material as the principal structure on the lot or masonry or a living screen composed of shrubs planted to be opaque at maturity. Species shall be selected from the Jersey Village Crossing Planting List in Appendix C of this ordinance. The required Street Screen shall be located within the BTZ along the corresponding frontage.

**7.5.5 Parking & Service Access**



**Legend**

- Property Line
- Parking Setback
- Surface Parking Area
- Building Footprint

**(i) Parking Location (distance from property line)**

Type "A" Street setback	Behind the principal structure on the lot or a minimum of 25' (whichever is greater)	<b>O</b>
Type "B" Street setback	Min. of 3' behind the building façade line along that street	<b>Q</b>
Side setback	0' min.	<b>P</b>
Rear setback	0' min.	<b>R</b>

**(ii) Required Parking Spaces (see #9)**

Non-residential uses	1 space/300 sq. ft. (gross)
Residential uses	1.5 space/unit

**(iii) Driveways and Service Access**

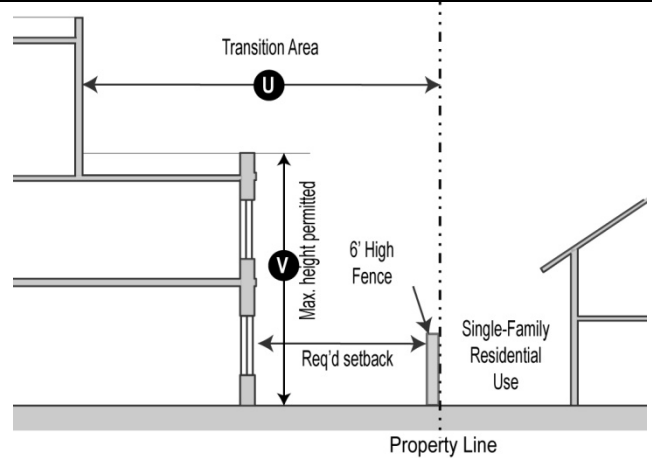
Parking driveway width	24' max. (at the throat)	<b>S</b>
Driveways and off-street loading and unloading shall not be located on a Pedestrian Priority "A" or "B" Street unless the property has no feasible access to either a vehicular alley or a Service Street.		<b>T</b>

**7.5.6 Encroachments**

Corner Lots: Canopies, signs, awnings, galleries, and balconies may encroach over the R-O-W/sidewalk as long as the vertical clearance is a minimum of 8 ft. and the encroachment does not exceed 50% of the required sidewalk width. In no case shall an encroachment be located over an on-street parking or travel lane.

Interior lots: Porches, stoops, awnings, signs, galleries, balconies, bay windows and other architectural features may encroach into required yards, provided they do not encroach over the front property line.

**7.5.7 Residential Transition Standards**



The following applies to all buildings located adjacent to any residential use.

Transition Area	25' (min.)	<b>U</b>
Max. Building Height at within Transition Area	2 stories	<b>V</b>

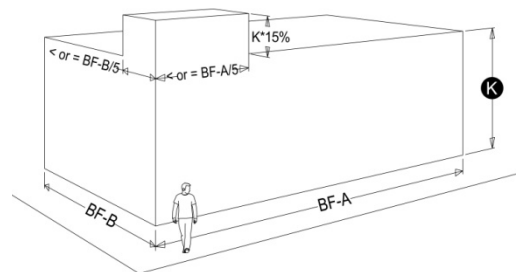
A 6 ft. high fence shall be installed at the property line adjacent to the residential use.

**7.5.8 Applicability**

Building Form and Development Standards in this Section shall apply to all development within this Character Zone.

**Notes**

#6 – Corner buildings may exceed the maximum building height by 15% for 20% of the building's frontage along each corresponding street façade.



#7 - Ground and roof mounted mechanical equipment shall be screened from direct ground level view from adjoining public rights-of-way. In addition to a parapet wall no higher than 42", the perimeter of any visible roof mounted mechanical equipment shall be circumscribed by a wall or permanent screen that is at least as tall as the equipment itself.

#8 – Setbacks and build-to lines on recessed entries and arcade buildings shall be measured from the front of façade with the recessed entry or arcade.

#9 – Chapter 14, Article XI of the City of Jersey Village Code of Ordinances shall apply for design of off-street parking areas.

## Section 8. Building Design Standards

The Building Design Standards for District D – Jersey Village Crossing shall establish a coherent urban character and encourage enduring and attractive development. Development plans shall be reviewed by the City Manager or designee for compliance with the standards below.

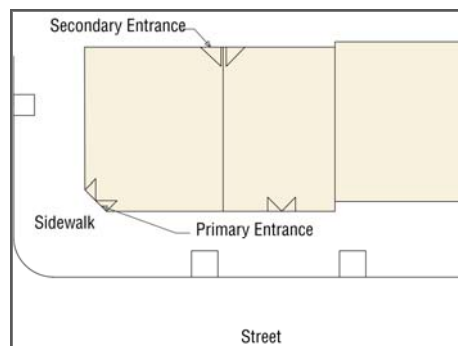
The key design principles establish essential goals for development in District D to ensure the preservation, sustainability, and visual quality of this unique environment. Buildings shall be located and designed so that they provide visual interest and create enjoyable, human-scaled spaces. The key design principles are:

- a. New buildings shall utilize building elements and details to achieve a pedestrian-oriented public realm;
- b. Compatibility is not meant to be achieved through uniformity, but through the use of variations in building elements to achieve individual building identity;
- c. Building façades shall include appropriate architectural details and ornament to create variety and interest; and
- d. Open space(s) shall be incorporated to provide usable public areas integral to the urban environment.

### 8.1 General to all Character Zones

#### 8.1.1 Building Orientation

- i. Buildings shall be oriented towards Type “A” Streets, where the lot has frontage along Type “A” Streets. All other buildings shall be oriented towards Type “B” Streets or Civic Spaces.
- ii. Primary entrance to buildings shall be located on the street along which the building is oriented. At intersections, corner buildings may have their primary entrances oriented at an angle to the intersection.
- iii. All primary entrances shall be oriented to the public sidewalk for ease of pedestrian access. Secondary and service entrances may be located from internal parking areas or alleys.



*Figure showing required building orientation and location of primary entrances*

#### 8.1.2 Design of Parking Structures

- i. All frontages of parking structures located on Type “A” Streets shall not have parking uses on the ground floor to a minimum depth of 30 feet along the Type “A” Street frontage. If the frontage is along a designated Main Street Frontage, then the Main Street Frontage requirement shall supersede.

- ii. The amount of Type “A” Street frontage devoted to a parking structure shall be minimized by placing the shortest dimension(s) of the parking structure along the Type “A” Street edge(s).
- iii. Parking structure façades on all Type “A” Streets shall be designed with both vertical (façade rhythm of 20 feet to 30 feet) and horizontal (aligning with horizontal elements along the block) articulation.
- iv. Where above ground structured parking is located at the perimeter of a building with frontage along a Type “A” Street, it shall be screened in such a way that cars on all parking levels are completely hidden from view from all adjacent public streets. Parking garage ramps shall not be visible from any public street. Ramps shall not be located along the perimeter of the parking structure. Architectural screens shall be used to articulate the façade, hide parked vehicles, and shield lighting.
- v. When parking structures are located at street intersections, corner architectural elements shall be incorporated such as corner entrance, signage and glazing.
- vi. Parking structures and adjacent sidewalks shall be designed so pedestrians and bicyclists are clearly visible to entering and exiting automobiles.



*Images showing appropriate design of Parking Structures*

#### 8.1.3 Design of Automobile Related Building Site Elements

- i. Drive-through lanes for commercial uses shall not be located along any Type “A” Street. Drive-through lanes shall be hidden behind a Street Screen along the Type “B” Street frontage.
- ii. All off-street loading, unloading, and trash pick-up areas shall be located along alleys or Type “B” Streets only unless permitted in the specific building form and development standards in Section 7. Any off-street loading, unloading, or trash pick-up areas shall be screened using a Street Screen that is at least as tall as the trash containers and/or service equipment it is screening at the BTZ. The Street Screen shall be made up of (i) the same material as the principal building or (ii) a living screen or (iii) a combination of the two.

#### 8.1.4 Roof Form

- i. Buildings shall have simple, flat fronts with minimal articulations with flat or low pitched roofs with parapets. Corner hip roof elements and gable accents at the parapet may be permitted.
- ii. The following standards shall apply for all buildings with mansard roofs in District D:
  - Mansard roofs shall only be used on buildings that are three stories or higher.
  - The mansard roof shall project no more than 18” forward of the building façade line.
  - The lower slope of the roof should be inclined at no greater than 75 degrees to the horizontal.



*Images of appropriate building and roof forms in Jersey Village Crossing*

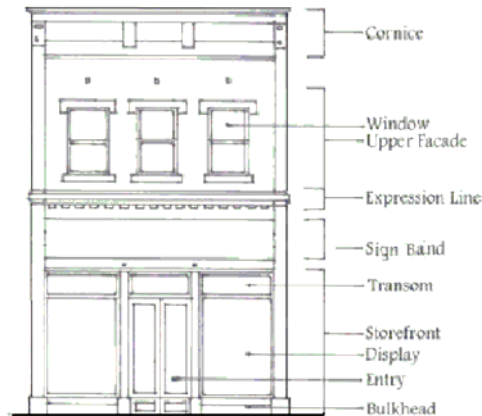
8.1.5 Façade Composition

- i. Buildings shall maintain a façade rhythm of 20 feet to 30 feet along all Type “A” Streets.
- ii. This rhythm may be expressed by changing materials, or color, or by using design elements such as fenestration, columns and pilasters, or by varying the setback of portions of the façade.
- iii. Buildings shall be designed and built in tri-partite architecture so that they have a distinct Base, Middle and Cap.



*Image of Tri-Partite Architecture*

- iv. An expression line or equivalent architectural element shall delineate the Base and Cap of all buildings. A Cornice shall delineate the caps of façades that do not utilize a pitched roof.
- v. For retail storefront buildings, a transom, display window area, and bulkhead at the base shall be utilized.



*Image of a typical storefront*

- vi. Storefronts on façades that span multiple tenants shall use architecturally compatible materials, colors, details, awnings, signage, and lighting fixtures.
- vii. Building entrances may be defined and articulated by architectural elements such as lintels, pediments, pilasters, columns, porticos, porches, overhangs, railings, balustrades, and others as appropriate. All building elements should be compatible with the architectural style, materials, colors, and details of the building as a whole. Entrances to upper level uses may be defined and integrated into the design of the overall building façade.
- viii. Buildings shall generally maintain the alignment of horizontal elements along the block.
- ix. Corner emphasizing architectural features, pediment gabled parapets, cornices, awnings, blade signs, arcades, colonnades and balconies may be used along commercial storefronts to add pedestrian interest.



*Buildings with architectural features and storefront elements that add interest along the street.*

- x. Buildings which are located on axis with a terminating street or at the intersection of streets shall be considered as feature buildings. Such buildings shall be designed with features which take advantage of that location, such as an accentuated entry and a unique building articulation which is off-set from the front wall planes and goes above the main building eave or parapet line.

#### 8.1.6 Windows and Doors

- i. Windows and doors on street (except alleys) fronting façades shall be designed to be proportional and appropriate to the specific architectural style of the building. First floor windows shall NOT be opaque, tinted or mirrored glass.
- ii. All ground floor front façades of buildings along Type “A” Streets or Civic/Open Spaces shall have transparent storefront windows covering no less than 60% of the façade area. Each upper floor of the same building façades facing a Type “A” Street or Civic/Open Space shall contain transparent windows covering at least 40% of the façade area. All other street facing façades (except alleys) shall have transparent windows covering at least 20% of the façade area for all floors.



*Images showing appropriate storefront display and transparency*



8.2 Standards Specific to Development in District D - Core, District D - Mixed Use, and District D - Highway Mixed Use Zones

8.2.1 Commercial and Mixed Use Building Materials

- i. At least 80% of each building's façade (excluding doors and windows) fronting along any Type "A" Street, Jones Road, and US 290/Hempstead Managed Lanes shall be finished in one of the following materials:
  - Masonry (brick, stone, stucco utilizing a three-step process, curtain glass, or glass block)
- ii. No more than 20% of each façade along any Type "A" Street, Jones Road, and US 290/Hempstead Managed Lanes shall use accent materials such as wood, architectural metal panel, split-face concrete block, tile, or pre-cast concrete panels. Exterior Insulating Finishing Systems (EIFS), is not be permitted on building frontages along any Type "A" Street or Jones Road or US 290/Hempstead Managed Lanes.



*Images showing appropriate building materials within District D Core, District D Mixed Use, and Highway Mixed Use Character Zones.*

- iii. All façades along Type "B" Streets or alleys shall be of a similar finished quality and color that blend with the front of the building. Building materials for these façades may be any of the primary and accent façade materials listed above. EIFS shall not be permitted along any ground floor façades along Type "B" Streets and ground floor façades of alleys. Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty may only be used on the upper floors only.
- iv. Roofing materials visible from any public right-of-way shall be copper, factory finished standing seam metal, slate, synthetic slate, or similar materials.

8.3 Standards Specific to Development in the District D Transition Character Zone:

8.3.1 Commercial and Mixed Use Building Materials

- i. The following shall be permitted finishes for all street fronting façades (except service streets or alleys) of all buildings. No more than three different materials shall be used on any single façade:
  - Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty;
  - Lap-sided wood;
  - Masonry (brick; stone; man-made stone, or stucco utilizing a three-step process);
  - Tilt-up concrete panels that have a grid like appearance;
  - Split face concrete block or pre-cast, or poured in place concrete; and
  - Architectural metal panels.



*Images showing appropriate building materials within District D Transition Character Zone.*

- ii. Other materials will be considered as primary building materials on a case-by-case basis and may only be approved by the City Manager or designee subject to appeal to City Council.
- iii. The following may be allowed only up to 40% as an accent material:
  - Exterior Insulating Finishing System (EIFS), or similar material over a cementitious base, rock, glass block, and tile.
  - Other metal finishes
- iv. Side and rear façades shall be of finished quality and of the same color and materials that blend with the front of the building.

#### 8.4 Standards Specific to Development in the District D Neighborhood Character Zone:

##### 8.4.1 Building Orientation

- i. Garages for Residential Buildings shall be located on alleys at the rear of residential buildings; pull-through garages are allowed if the garage door is set back behind the rear façade of the main structure. If front-load garages or carports are utilized for residential uses, the garages and carports shall be no greater than 12 feet wide and set back at least 20 feet measured from the face of the main structure closest to the garage/carport or rotated 90 degrees with windows on the wall facing the street. On corner lots, the garage may be rotated with windows facing the primary street with driveway access from the secondary street.
- ii. All garage doors shall be divided into single bays separated by at least a 16-inch pier or column. Front-load garages on residential lots less than 40 feet wide shall not be allowed. Town homes and courtyard apartments shall utilize rear-load garages.

##### 8.4.2 Building Massing and Scale

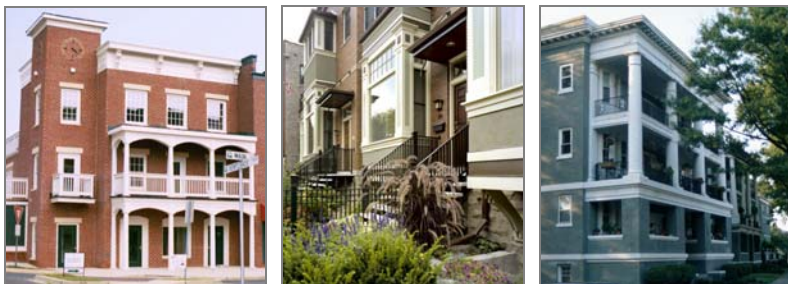
- i. Residential buildings shall have few, if any, articulations and simple roofs (gable, hip, combination) with most building wing articulations set at the rear of the structure. Window projections, bay windows, stoops, porches, balconies, and similar extensions shall be exempt from this standard.
- ii. Gable roofs, if provided for residential buildings, shall have a minimum pitch of 5/12. When hipped roofs are used, the minimum pitch shall be 5/12. Other roof types shall be appropriate to the architectural style of the building. Porch roofs may be a minimum pitch of 3/12.
- iii. The following standards shall apply for all buildings with mansard roofs in District D:
  - Mansard roof shall only be used on buildings that are three stories or higher.
  - The mansard roof shall not project forward of the building façade line.
  - The mansard roof shall be end in a concealed gutter behind a parapet.
  - The lower slope of the roof should be inclined no greater than 75 degrees to the horizontal.



*Images showing appropriate massing and scale for Residential Buildings*

#### 8.4.3 Façade Composition

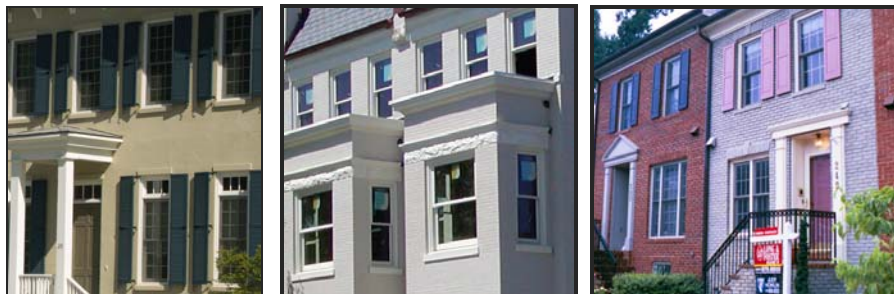
- i. Buildings shall maintain a façade rhythm of 20 feet to 30 feet along Type “A” Streets. This rhythm may be expressed by changing materials, or color, or by using design elements such as columns and pilasters, or by varying the setback of portions of the building façade.
- ii. At least one of the following -- porches, stoops, eaves or balconies -- shall be added along the front residential façades to add pedestrian interest along the street.
- iii. For residential buildings the grade of the slab or first floor elevation shall be elevated at least 18 inches above the grade of the sidewalk.
- iv. Alley and/or Type “B” Street facing façades shall be of finished quality and of the same color that blend with the front of the building.



*Residential buildings with porches, balconies, and stoops to add interest along the street.*

#### 8.4.4 Windows and Doors

- i. Windows and doors shall be designed to be proportional and appropriate to the architectural style of the building.
- ii. Windows may have jack arch, keystone arch, flat arch, or ornamental arches.
- iii. All building façades of residential buildings fronting on all streets or civic spaces, except alleys, shall have transparent windows covering at least 30% of each façade.



*Images showing appropriate window designs and proportions.*

#### 8.4.5 Residential Building Materials

- i. At least 80% of the Type “A” Street facing façades of all buildings (excluding doors and windows) shall be finished in one or more of the following materials, with no more than three different materials being used on any single residential façade:
  - Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty; and
  - Masonry (brick; stone; man-made stone, or stucco utilizing a three-step process).
- ii. The following may only be allowed up to 20% as an accent material:
  - Architectural metal panels or similar material over a cementitious base, glass block and tile.
- iii. EIFS shall not be permitted along any Type “A” Street façades.
- iv. Side and rear façades shall be of finished quality and of the same color that blend with the front of the building. Ground floor side and rear façades shall not be EIFS.
- v. Roofing materials (visible from any public right-of-way): copper, factory finished painted metal, slate, synthetic slate, terra cotta, and asphalt shingles (laminated and classified as being at least 300 pounds/100 sf.).
- vi. An enclosed garage or carport shall be designed and constructed of the same material as the primary building.

### Section 9. Street & Streetscape Design Standards

9.1 Generally: Streets in District D need to support the overall goal of a mixed use, compact, pedestrian oriented district. They should balance all forms of mobility while maximizing convenience for residents and visitors.

The Regulating Plan designates the required and recommended street network within District D. The Street and Streetscape Design Standards specify the typical configuration of streets within District D. The specifications address vehicular lane width, parkway widths, right-of-way (R.O.W) widths, number of travel lanes, on-street parking, and pedestrian accommodations. The character of streets in District D will vary based on the location. The service roads of the Hempstead Managed Lanes and US 290 are under the purview of TxDOT while the remaining streets are city streets.

9.2 New Streets: This section specifies standards for all new streets in District D. New streets shall be based on the Mandatory or Non-Mandatory designation on the Regulating Plan.

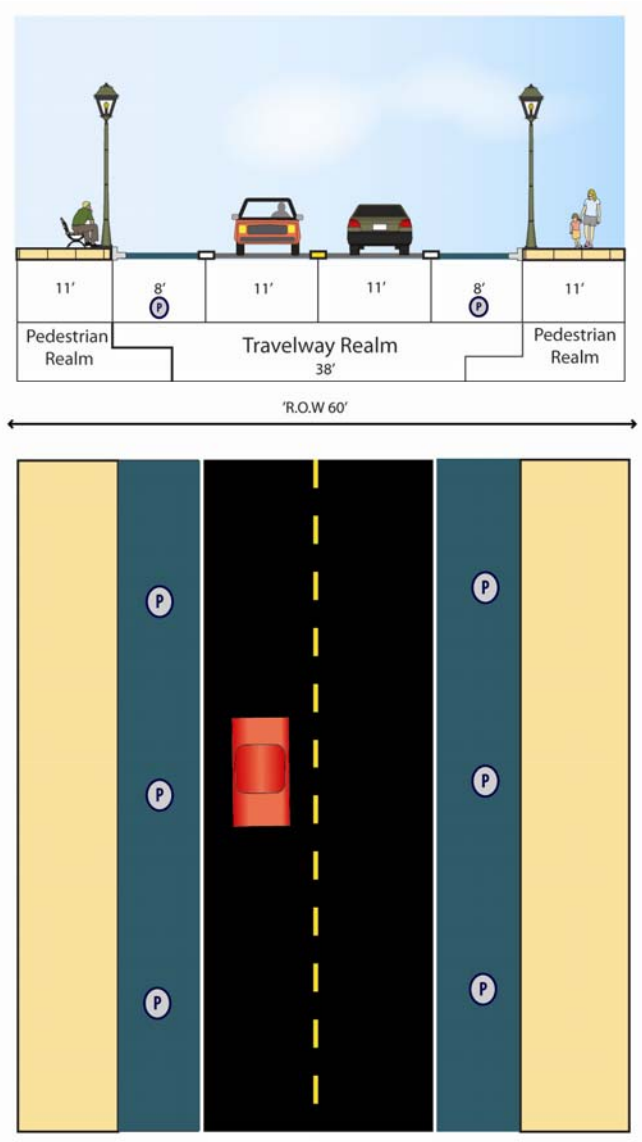
9.3 Street Classification Established: Table 9.1 and associated cross sections shall establish the cross sections for each street type. The cross sections may be adjusted to fit existing contexts with the approval of the City Engineer. In addition, the proposed cross sections may be adjusted to meet the needs of the Uniform Fire Code as adopted by the City.

Table 9.1

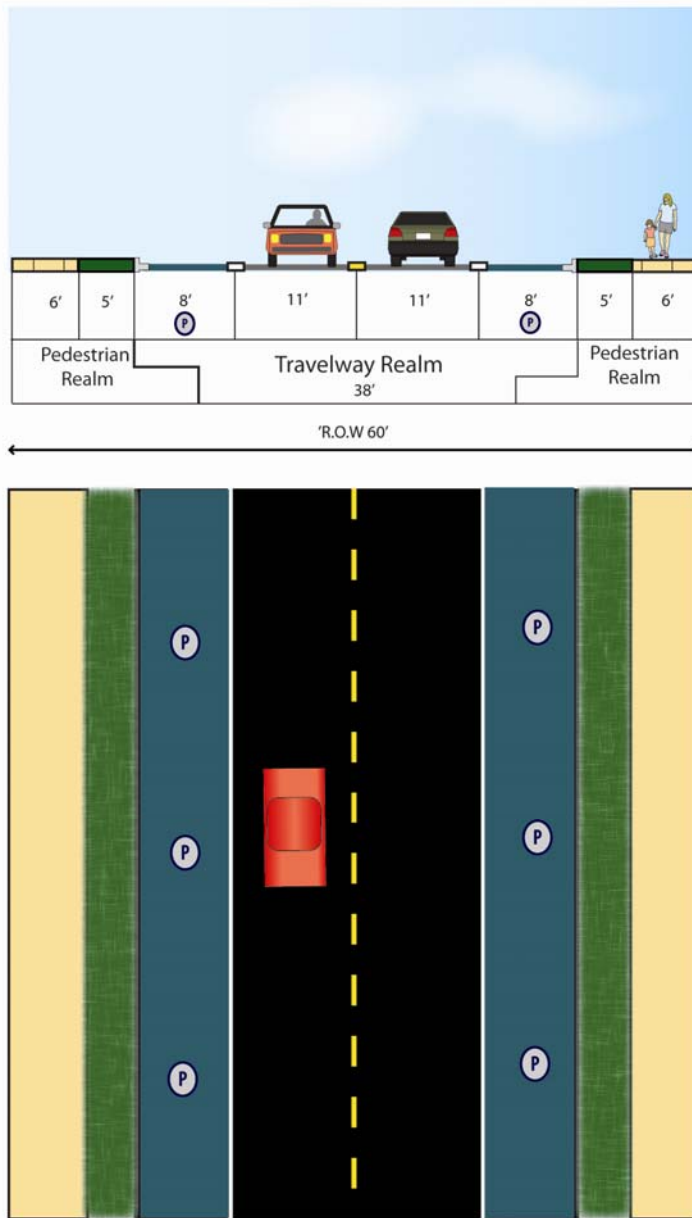
Elements Street Classification	Street Width (Recommended minimum)		Number of Vehicular Lanes	Vehicular Lane Widths	Turn Radius (max.)	On-Street Parking	Pedestrian Sidewalk Width (min.) (includes any easement)	Parkway/ Tree Well
	R.O.W	Pedestrian Easement (on each side)						
District D Main Street	60 feet	5 feet	2	11 feet	15 feet	Yes, both sides, parallel	16 feet	Tree Well, 5 X 5 feet min.
District D General Street	60 feet	0 feet	2	11 feet	20 feet	Yes, both sides, parallel	6 feet	Parkway, 5 feet min.
Canal Street	100 feet	0 feet	2 + bike lanes	13 feet	20 feet	Yes, both sides, parallel	8 feet	Parkway, 5 feet min.
Mixed Use Avenue	70 feet	0 feet	3	11 feet	20 feet	Yes, both sides, parallel	10 feet	Tree Well, 5X5 feet
Urban Avenue	80 feet	0 feet	4	13/11 feet	30 feet	None	10 feet	Parkway, 5 feet min. width
Suburban Boulevard	100 feet	0 feet	4	13/11 feet	30 feet	None	8 feet	Parkway, 5 feet min. width
Commercial Alley	26 feet	None	N/A	N/A	25 feet	Yes, one side parallel	None	None
Residential Alley	12 feet	None	N/A	12 feet	20 feet	None	None	None

9.4 Street Cross Sections

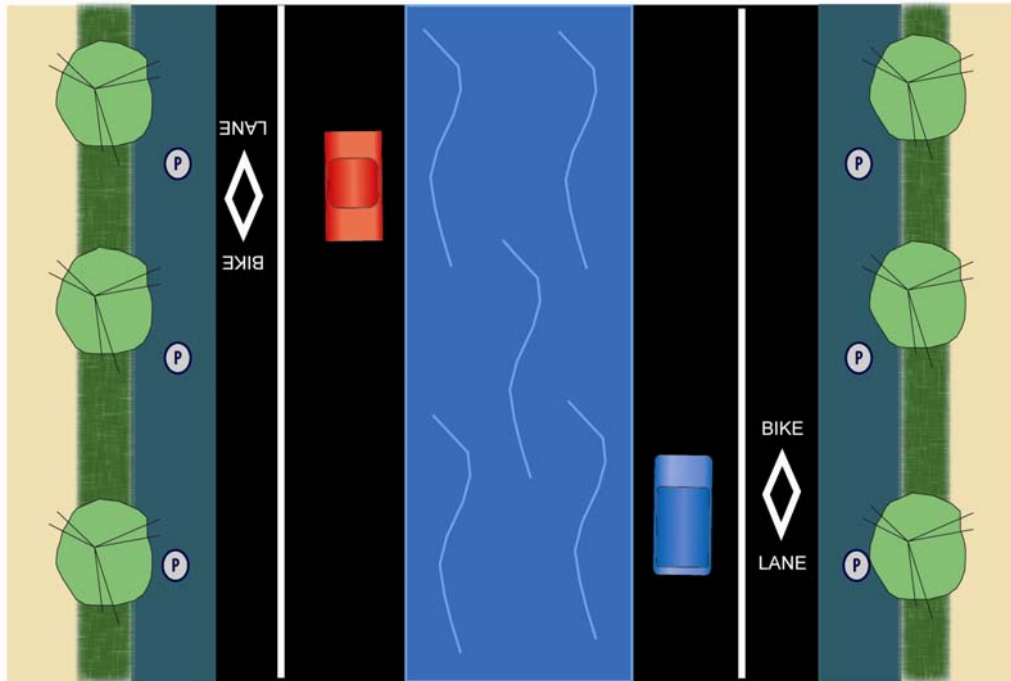
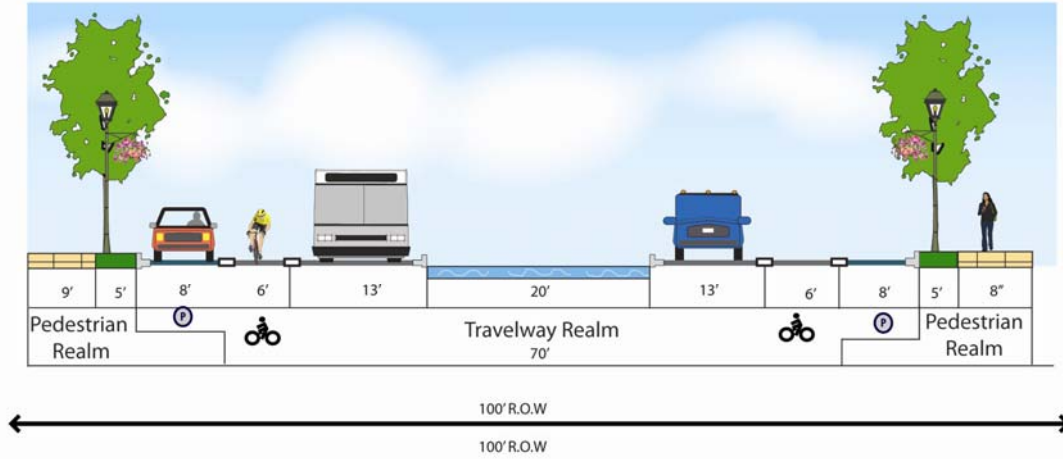
9.4.1 District D Main Street



9.4.2 District D General Street

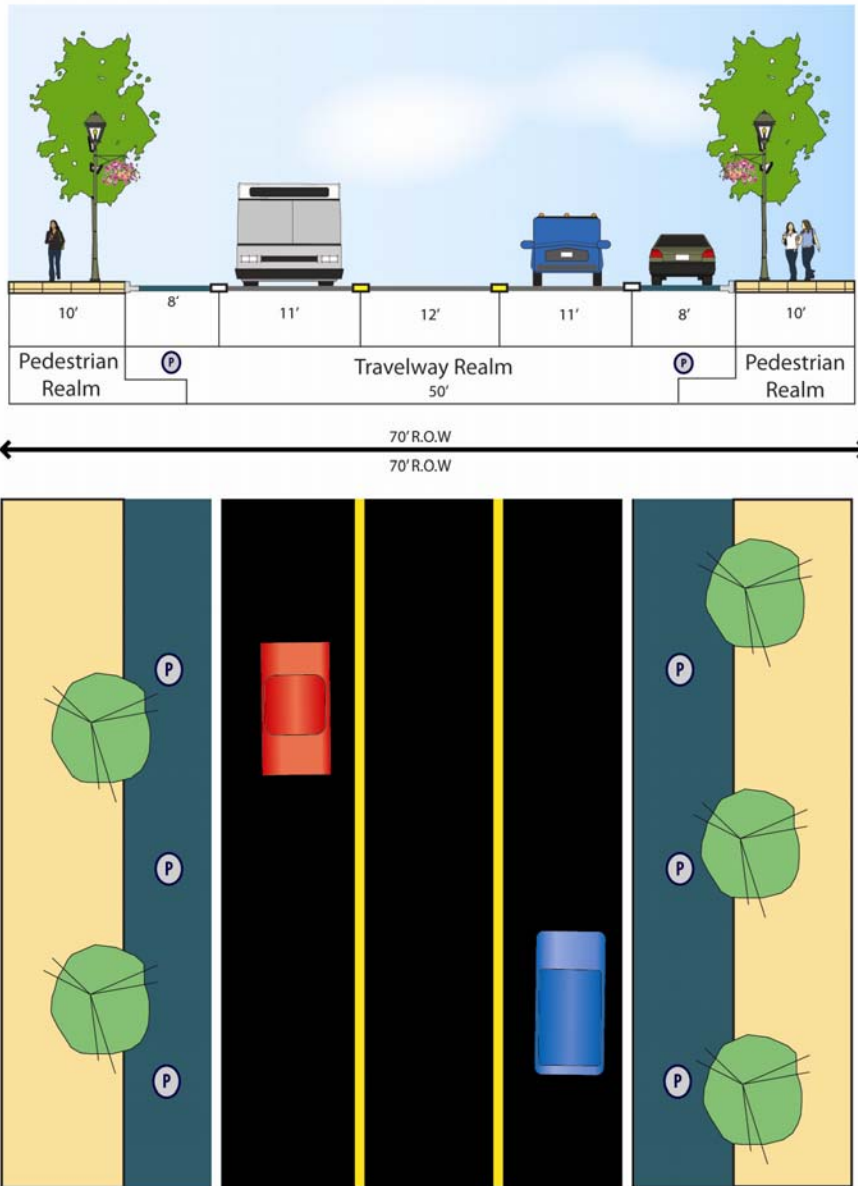


9.4.3 District D Canal Street

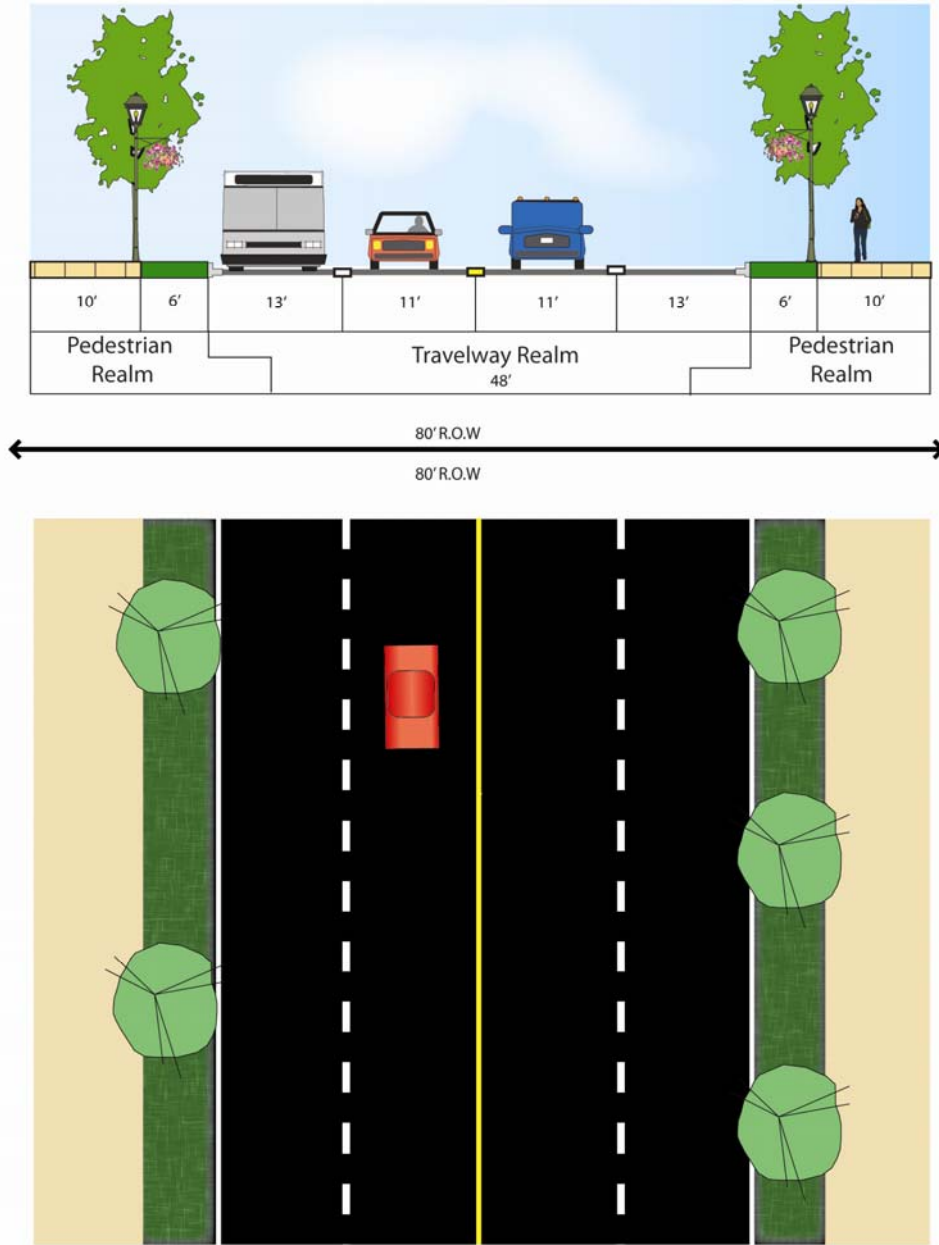




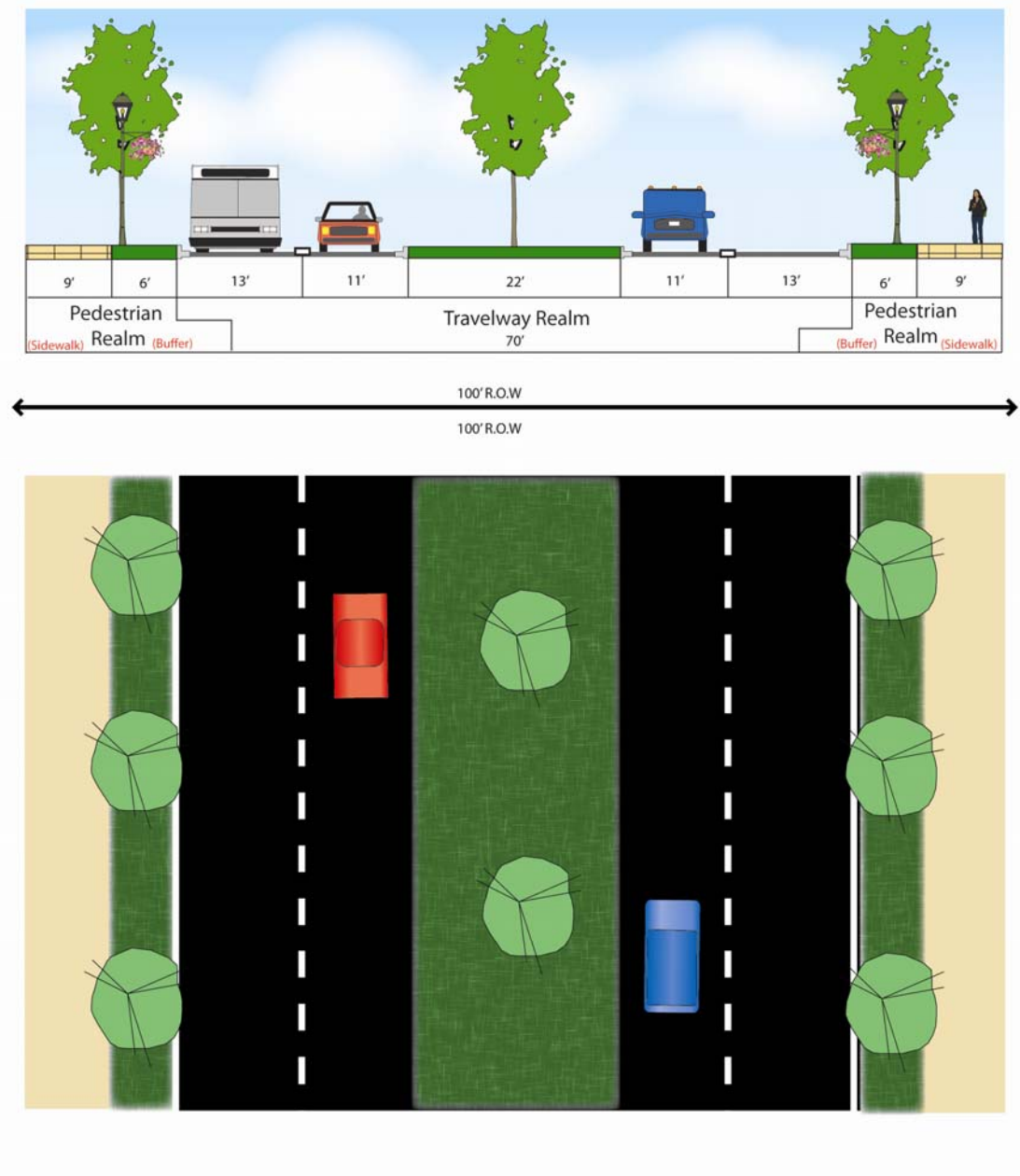
9.4.4 District D Mixed Use Avenue



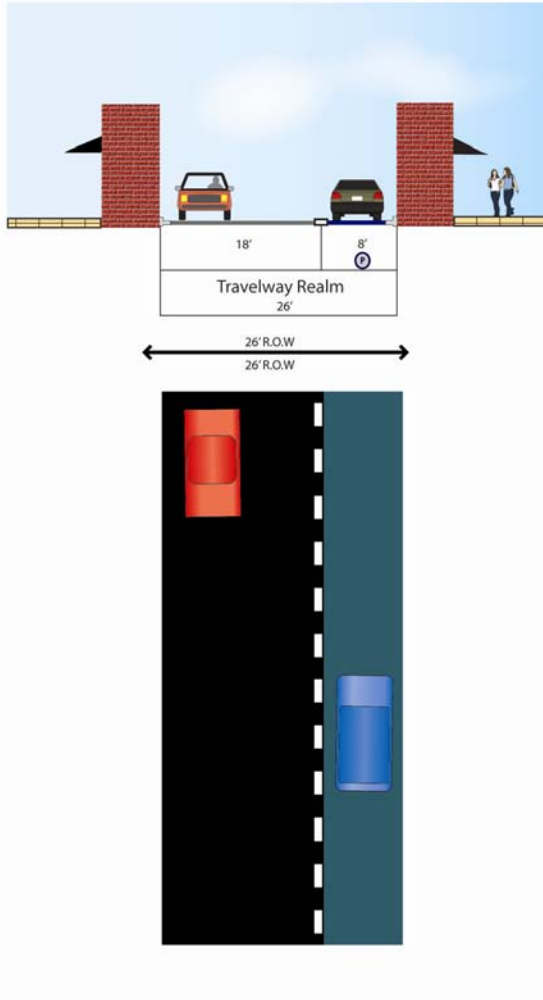
9.4.5 District D Urban Avenue



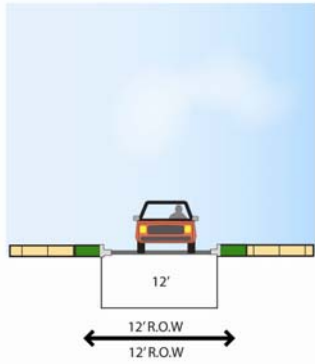
9.4.6 District D Suburban Boulevard



9.4.7 District D Commercial Alley



9.4.8 District D Residential Alley



9.5 Streetscape & Landscape Standards: Streetscape standards shall apply to all streets within District D. Streetscape standards shall address all elements between the building face and edge of the curb. Typical streetscape elements addressed are street trees, lighting, street furniture and pedestrian amenities, and materials. Maintenance of all streetscape shall be by the City of Jersey Village.

9.6 Street Trees and Landscaping:

9.6.1 Street trees shall be required on all District D streets (except on alleys).

9.6.2 Street trees shall be planted approximately 3 feet behind the curb line.

9.6.3 Spacing shall be an average of 40 feet on center (measured per block face) along all streets.

9.6.4 The minimum caliper size<sup>1</sup> for each tree shall be 3 in. and shall be a minimum of 12 feet in height at planting. Each tree shall be planted in a planting area no less than 36 sq. feet. However, the tree well area may be no smaller than 25 sq.ft.

9.6.5 Along the Suburban Boulevard, trees shall be required in the median and spacing and species shall be the same as the trees in the parkway.

9.6.6 Turf and groundcover: When clearly visible from the street and alleys, all unpaved ground areas shall be planted with low growing shrubs or ground cover, ornamental grasses, or a combination thereof. Turf grass must be installed as solid sod and not seeded on.

9.6.7 Species shall be selected from the Jersey Village Crossing Planting List in Appendix C of this ordinance.

9.6.8 Maintenance of all landscape materials shall meet the requirements of Chapter 14, Article XII of the Jersey Village Code of Ordinances.

9.6.9 Along arterials and highway access roads, street trees shall be planted within the required landscape parkway as per the City of Jersey Village Landscape Ordinance/Policies (Chapter 14, Article XII of the Jersey Village Code of Ordinances).

9.7 Street Furniture, Lighting, and Materials:

9.7.1 Pedestrian scale lighting, with the top of fixture being no more than 20 feet from the ground, shall be provided along all streets except alleyways. A minimum of two foot-candles (where a foot-candle is defined as a unit of illuminance on a surface that is everywhere 1 foot from a point source of 1 candle and values are given in minimum average maintained light levels in order to account for light loss over time) shall be provided along District D Main Streets, Urban Avenues, Canal Streets, and intersections. In addition, two foot-candles shall be provided along all District D General Streets located within the following Character Zones: District D Core, District D Mixed-Use, and Highway Mixed-Use. A minimum of one foot-candle shall be provided within all other street classifications, except alleyways.

9.7.2 Street lights shall be placed at 50 feet on center, approximately 3 feet behind the curb line, unless the provisions of 9.7.1 cannot be met.

9.7.3 The light standard selected shall be compatible with the design of the street and buildings.

9.7.4 Trash receptacles and bike racks shall be required along the District D Main Street. A minimum of one each per block face shall be required.

9.7.5 Street furniture and pedestrian amenities such as benches are recommended along all Type "A" Streets.

9.7.6 All street furniture shall be located in such a manner as to allow a clear sidewalk passageway of a minimum of 6 feet.

9.7.7 Materials selected for paving and street furniture shall be of durable quality and require minimal maintenance.

---

<sup>1</sup> Caliper size for a multi trunk tree shall be the total of the diameter of the largest trunk and one half (1/2) of the diameter of each additional trunk, measured at a height of 4 1/2 feet above the ground.

**Section 10. Signage**

Except as specifically listed below, all other signage and sign standards must comply with Chapter 14, Article X of the City of Jersey Village Code of Ordinances, as amended.

10.1 For new signs, the standards in Table 10.1 shall apply and sign permits shall be approved administratively by the City of Jersey Village Building Official or designee unless specifically noted in this section.

Table 10.1

Character Zone	District D Core	District D MU and District D Transition	District D Neighborhood	Highway MU	Standard
<b>Sign Type</b>					
Wall (Building) Signs	P	P	P (commercial and live-work uses only)	P	<ul style="list-style-type: none"> <li>For all ground floor commercial uses (retail, office, and restaurant): One sign per tenant space; area to be calculated at 1.5 sq. feet per linear foot of public street frontage for the tenant space with a maximum of 100 sq. ft per tenant.</li> <li>Second and upper floor commercial uses may also be permitted one second floor wall sign per tenant space per public street frontage; area to be calculated at 1.5 sq. feet per linear foot of second or upper floor frontage along that public street with a maximum of 125 sq. feet.</li> <li>Institutional uses (non-profits and churches): One sign per tenant space; area to be calculated at 1.5 sq. feet per linear foot of public street frontage with a maximum of 100 sq. feet.</li> <li>Live-Work and Home occupations: One sign limited to an area of 20 sq. feet max.</li> <li>Building sign may encroach a maximum of 12" on to a sidewalk while maintaining a vertical clearance of 8 feet from the finished sidewalk.</li> <li>Building signs may be internally or externally lit.</li> <li>Marquee signs as only permitted as specified below.</li> </ul>
Monument Signs	NP	P	P (commercial and live-work uses only)	P	One monument sign per lot per lot street frontage (no more than 2 per lot separated by at least 100 feet) limited to a maximum of 60 sq. feet per sign face and 6 feet in height. Monument signs shall not be placed within any sight triangle areas as required by the City.
Window Signs	P	P	P (commercial and live-work uses only)	P	Limited to 20% of the window area.  The following shall be exempt from this limitation: <ul style="list-style-type: none"> <li>Addresses, closed/open signs, hours of operation, credit card logos, real estate signs, and now hiring signs;</li> <li>Mannequins and storefront displays of merchandise sold; and</li> <li>Interior directory signage identifying shopping aisles and merchandise display areas.</li> </ul>
Building Blade Signs	P	P	P (commercial and live-work uses only)	NP	<ul style="list-style-type: none"> <li>One per building (commercial and mixed use buildings only).</li> <li>Area = 30 sq. feet maximum per sign face.</li> <li>May encroach a maximum of 6 feet over a sidewalk, but shall not encroach over any parking or travel lane.</li> <li>Building blade signs may be attached to the building at the corners of building or along any street facing façade above the first floor façade.</li> </ul>
Tenant Blade Signs	P	P	P (commercial and live-work uses only)	P	<ul style="list-style-type: none"> <li>One per commercial tenant space (retail, office, or restaurant use).</li> <li>Area = 16 sq. feet maximum per sign face.</li> <li>May encroach a maximum of 4 feet over a public sidewalk, but shall not encroach over any parking or travel lane.</li> <li>Tenant blade signs shall be oriented perpendicular to the</li> </ul>

Character Zone	District D Core	District D MU and District D Transition	District D Neighborhood	Highway MU	Standard
<b>Sign Type</b>					
					building façade and hung under the soffit of an arcade or under a canopy/awning or attached to the building façade immediately over the ground floor tenant space while maintaining a vertical clearance of 8 feet from the finished sidewalk.
Marquee Signs	P	P	NP	P	<ul style="list-style-type: none"> <li>Permitted for theatres, auditoriums, and other public gathering venues of 100 persons or more.</li> <li>Marquee signs shall be attached to the building or located above or below a canopy only.</li> <li>Area = 100 sq. feet maximum.</li> <li>Message board may be changeable copy (electronic and non-electronic). Electronic message boards shall be non-flashing.</li> </ul>
For sale/for lease signs	P	P	P	P	<ul style="list-style-type: none"> <li>Size is limited to 32 sq. feet per sign face.</li> <li>All other standards are the same as City of Jersey Village Sign Regulations as found in Chapter 14 Article X.</li> </ul>
Address signs	P	P	P	P	Same as City of Jersey Village Sign Regulations as found in Chapter 14 Article X.
Temporary construction signs	P	P	P	P	1 free standing sign per lot during construction only; limited to 32 sq. feet.
Banners	P	P	P	P	Same as City of Jersey Village Sign Regulations as found in Chapter 14 Article X.
Sandwich board signs	P	P	P (commercial and live-work uses only)	NP	<ul style="list-style-type: none"> <li>Permitted only for retail, service, or restaurant uses.</li> <li>Limited to 12 sq. feet per sign face per storefront.</li> <li>Sign may not exceed 4 feet in height.</li> <li>A minimum of 6 feet of sidewalk shall remain clear.</li> <li>Chalkboards may be used for daily changing of messages.</li> <li>Readerboards (electronic and non-electronic) shall be prohibited.</li> <li>Sign shall be removed every day after the business is closed.</li> </ul>
Light Pole Banners	P	P	P	P	<ul style="list-style-type: none"> <li>Permitted only with approval of the City.</li> <li>Max. 10 sq. feet per sign face.</li> <li>Limited to one per light pole.</li> <li>All light pole banners shall be approved by the appropriate utility company prior to consideration by the City.</li> <li>Light pole banners shall be limited to publicize community-wide events, holiday celebrations, public art, and other city sponsored events.</li> </ul>
Directory signs	P	P	P (commercial and live-work uses only)	P	<ul style="list-style-type: none"> <li>Shall be allowed for all multi-tenant commercial and mixed use buildings only.</li> <li>One directory sign per multi-tenant building limited to 12 sq. feet in area.</li> <li>Design of the sign shall be integral to the façade on which the sign is to be affixed.</li> </ul>
Pole signs	NP	NP	NP	NP	May only be permitted as part of a Master Sign Plan.
LED Signs	NP	NP	NP	NP	<ul style="list-style-type: none"> <li>Shall be covered by a lens or diffuser.</li> <li>May only be permitted where electronic message boards are permitted within Jersey Village Crossing.</li> <li>Or, may only be permitted as part of a Master Sign Plan.</li> </ul>
Off-premise signs	NP	NP	NP	NP	

10.2 An applicant has the option to establish unique sign standards including size, color, type, design, and location. Such applications shall be reviewed as “Master Sign Plans” by the City Manager or designee and are subject to approval of the City Council. In evaluating a Master Sign Plan, the Planning and Zoning Commission and the City Council shall consider the extent to which the application meets the following:

10.2.1 Promotes consistency among signs within a development thus creating visual harmony between signs, buildings, and other components of the property;








- 10.2.2 Enhances the compatibility of signs with the architectural and site design features within a development;
- 10.2.3 Encourages signage that is in character with planned and existing uses thus creating a unique sense of place; and
- 10.2.4 Encourages multi-tenant commercial uses to develop a unique set of sign regulations in conjunction with development standards.

**Section 11. Civic Space and Private Open Space Standards**

- 11.1 This chapter establishes the public Civic Space and private Open Space Standards for Jersey Village Crossing. The Regulating Plan designates several areas for different designated and recommended public Civic Space Types within Jersey Village Crossing. The detailed Civic Space Standards for each type are included in this Section. These standards include general character, typical size, frontage requirements, and typical uses.
- 11.2 Private Open Space Standards: Given the mixed use nature of development within the context of two transit stops, all residential development within Jersey Village Crossing shall meet the private open space standards established in this Section. Table 11.1 establishes the types of private open space permitted and Table 11.2 establishes the private open space requirement based on the proposed intensity of residential development.

Table 11.1 Private Open Space Types

<i>Private Open Space Type</i>	<i>Description and Image</i>	<i>Standards and criteria</i>
Balconies and patios	<p><b>Balcony</b> is a platform projecting from a second or higher story interior or exterior wall of a building, usually enclosed for privacy and protection by a rail. A balcony usually has French or sliding glass doors leading out to it, and can be entered from a living room or bedroom.</p>  <p><b>Patio</b> is an outdoor space for dining or recreation that adjoins a residence and is often paved. It may also be a roofless inner courtyard within a residence, typically found in Spanish and Spanish-style dwellings.</p> 	<p>Balconies that are not flush shall be a minimum of 5 feet clear in depth and a minimum of 8 feet in width</p> <p>Balconies may be semi-recessed or recessed. Projecting metal or slab balconies are only permitted if they have some means of visible support.</p> <p>Patios shall be a minimum of 150 sq.ft.</p> <p>Patios shall have a clear sense of enclosure and separation from the public realm.</p>
Courtyard	<p>A <b>Courtyard</b> is a landscaped open space in the center of the block with no street frontage, surrounded by walls or buildings on all sides. It shall be large enough to allow for public activities and have sunlight during midday. It should be designed to connect to adjacent buildings or to the public sidewalk through a pedestrian passage.</p>	<p>Courtyards shall be surrounded on all sides by buildings with at least one pedestrian connection to an adjoining building or public sidewalk.</p> <p>The courtyard shall be a minimum of 200 square feet.</p> <p>Courtyard may be landscaped or a combination of landscape and</p>

		<p>hardscape. However, they shall contain amenities for residents such as seating, water features, etc.</p>
<p>Forecourt</p>	<p>A <b>Forecourt</b> is similar to a Courtyard, however, it is located in the front of a building such that the forecourt is surrounded on two or three sides by wings of the building.</p>  	<p>A Forecourt shall be surrounded on at least two sides by buildings.</p> <p>A Forecourt shall be a minimum of 150 square feet.</p>
<p>Pedestrian Passage</p>	<p>A <b>Pedestrian Passage</b> is an intimate street level passage way for pedestrians from the interior of one block or building to a public sidewalk. These paths provide direct pedestrian access to residential addresses and create unique spaces for frontages to engage and enter off of. A pedestrian passage may be used to visually reduce the impact of a large development block. Building edges may accommodate active uses such as shops and restaurants. Pedestrian passages should consist of a hardscape pathway activated by frequent entries and exterior stairways. The edges may simply be landscaped with minimal planting and potted plants.</p> 	<p>The minimum width shall be 10 feet wide.</p>
<p>Playground</p>	<p><b>Playgrounds</b> shall be permitted in parks and greens to provide open space designed and equipped for the recreation of children. These playgrounds should serve as quiet, safe places -- protected from the street and typically located where children do not have to cross major to access. Playgrounds may be fenced. An open shelter, play structures or interactive art and fountains may be included with landscaping between. Shaded areas and seating shall be provided. Playground equipment and design must be reviewed and approved by the City prior to installation.</p> <p>A larger playground may be incorporated into the park, whereas a more intimate playground may be incorporated into the green.</p>	<p>Playgrounds shall be a minimum of 400 sq.ft.</p>







		
<p>Community Garden</p>	<p>A <b>Community Garden</b> is a small to medium size garden cultivated by members of an area for small scale agricultural uses for the benefit of the same people. It may consist of individually tended plots on a shared parcel or may be communal (everyone shares a single plot).</p>	<p>Maximum size shall be 1 acre</p> <p>Gardens shall be enclosed by a fence on all open sides.</p> <p>Fences should be installed straight and plumb, with vertical supports at a minimum of 8' on center. Chicken wire, if used, should be continuously supported along all edges.</p> <p>Fencing Materials:  <u>Permitted:</u> pressure treated wood (must be painted or stained medium to dark color), chicken wire, wrought iron, painted galvanized steel  <u>Not permitted:</u> chain link, bobbed wire, vinyl, un-painted/stained pressure treated wood, plywood</p>
		
<p>Roof terraces</p>	<p>Roof terraces are flat areas on top of a building which are accessible for use as a recreation space for the residents and users of the building.</p>	<p>A Roof Terrace shall at least be 50% of the building footprint area. A Roof Terrace shall provide landscaping in the form of potted plants, seating, and other amenities for the users of the building. A Roof Terrace may also include a portion of the roof as a green roof which may or may not have public access.</p>
		
<p>Other (pool, play courts, picnic area, etc.)</p>	<p>Other private open space could include a pool (swimming, lap pool, spa area), play courts (basket ball), or picnic areas with shade structures.</p>	<p>Such private open space may be incorporated with roof terraces or courtyards based on the appropriateness of the design and accommodation of privacy.</p>

Table 11.2 Private Open Space Standard

<i>Number of Residential Units proposed</i>	<i>Private Open Space Standard Proposed</i>
1 – 12	The development shall provide: <ul style="list-style-type: none"> <li>At least 50% of all residential units fronting on a street, public civic space, fore court, or courtyard shall provide one balcony or patio; <u>or</u></li> <li>One playground or other private open space amenity</li> </ul> All other private open spaces are optional.
13 – 30	The development shall provide: <ul style="list-style-type: none"> <li>At least 50% of all residential units fronting on a street, civic space, fore court, or courtyard shall provide one balcony or patio; <u>and</u></li> <li>One playground area or other private open space amenity</li> </ul> All other private open spaces are optional
31 – 50	Any 3 of the private open spaces in the list above
Over 50 units	Shall provide at least one public civic space such as a park, plaza, square or green

11.3 Public Civic Space Standards. The design of public Civic Space shall be regulated by the Civic Space Standards herein which shall create a network of open spaces that recognizes the natural qualities of the area while providing a range of both passive and active recreational opportunities. These opportunities may be accommodated in a variety of spaces ranging from larger parks to neighborhood-scaled greens to urban squares and plazas. The open space network will be serviced by an interconnected network of trails and paths for pedestrians and bicyclists alike. The following section shall apply to all Public Civic Space proposed within District D.

**11.3.1 Park Standards**



The park, as recommended on the Regulating Plan, will create an important public space that connects the community within District D and allows for passive recreation in addition to providing for regional detention. Parks shall primarily be naturally landscaped with many places to sit on benches or low walls. Passive recreation activities in parks may include grassy lawns for unstructured and informal active recreational activities. Appropriate civic elements, fountains or open shelters may be included.

**Typical Characteristics**

**General Character**

Large, open space

Spatially defined by landscaping and building frontages

Detention and retention, paths, trails, open shelters, lawns, trees and shrubs naturally disposed

May be lineal, following the trajectories of natural corridors

**Location and Size**

Location and size shall be as shown on the Regulating Plan (Appendix B).

**Typical Uses**

Unstructured and passive recreation

Casual seating/picnicking

11.3.2 Green Standards



Greens shall be appropriate where civic spaces are recommended on the Regulating Plan and will serve as an important public space for District D. Greens will be available for civic purposes, commercial activity, unstructured recreation and other passive uses. Greens shall primarily be naturally landscaped with many shaded places to sit. Appropriate paths, civic elements, fountains or open shelters may be included and shall be formally placed within the green. Greens are appropriate in the District D Mixed Use, District D Residential, District D Transition, and Highway Mixed Use Character Zones.

**Typical Characteristics**

**General Character**

Open space

Spatially defined by landscaping and building frontages

Lawns, trees and shrubs naturally disposed

Open shelters and paths formally disposed

**Location and Size**

Location shall be as shown on the Regulating Plan (Appendix B). Size may range from 0.5 – 5 acres.

**Typical Uses**

Unstructured and passive recreation

Casual seating

Commercial and civic uses

Residential address

11.3.3 Square Standards



Square serve as an open space available for civic purposes, commercial activity, unstructured recreation and other passive uses. The square should have a more urban, formal character and be defined by the surrounding building frontages and adjacent tree-lined streets. All buildings adjacent to the square shall front onto the square. Adjacent streets shall be lined with appropriately scaled trees that help to define the square. The landscape shall consist of lawns, trees, and shrubs planted in formal patterns and furnished with paths and benches. Shaded areas for seating should be provided. A civic element or small structure such as an open shelter, pergola, or fountain may be provided within the square. Squares are appropriate in all character zones in District D.

**Typical Characteristics**

**General Character**

- Formal open space
- Spatially defined by buildings and tree-lined streets.
- Open shelters, paths, lawns, and trees formally arranged
- Walkways and plantings at all edges
- Located at important intersection

**Location and Size**

Location and size shall be as shown on the Regulating Plan (Appendix B). Size shall range from 0.5 to 2 acres.

**Typical Uses**

- Unstructured and passive recreation
- Casual seating
- Commercial and civic uses

11.3.4 Plaza Standards



Plazas add to the vibrancy of streets within the more urban zones and create formal open spaces available for civic purposes and commercial activity. Building frontages shall define these spaces. The landscape should consist primarily of hardscape. If trees are included, they should be formally arranged and of appropriate scale. Casual seating, along with tables and chairs, should be provided. Plazas typically should be located at the intersection of important streets. Plazas are appropriate in the District D Core and District D Mixed Use Character Zones.

**Typical Characteristics**

**General Character**

- Formal open space
- Primarily hardscape surfaces
- Trees and shrubs optional
- Spatially defined by building frontages

**Location and Size**

- Location shall be as shown on the Regulating Plan (Appendix B). Size shall range from 0.25 acre to 1 acre.
- Shall front on at least one (1) street.

**Typical Uses**

- Commercial and civic uses
- Casual seating
- Tables and chairs for outdoor dining
- Retail and food kiosks

**11.3.5 Ancillary Structure Standards**



Ancillary structures within public civic spaces should be formal in character and generally related to but clearly subordinate to surrounding buildings. Each individual structure should keep in character with the style of nearby buildings. Typically, these structures are located at prominent locations within an appropriate civic space. Ancillary structures located in more urban zones may have minor commercial uses, such as small food or news vendors, but may also serve as civic elements for general public use with more passive activities.

**Typical Characteristics**

**General Character**

- Formal character
- Relating to style of surrounding buildings
- One or more open sides
- Covered or providing shade
- Small, stand alone structure
- Located within Park, Green, Square or Plaza

**Standards**

- Min. Size N/A
- Max. Size N/A

**Typical Uses**

- Civic purposes
- Minor commercial uses
- Casual seating/picnicking

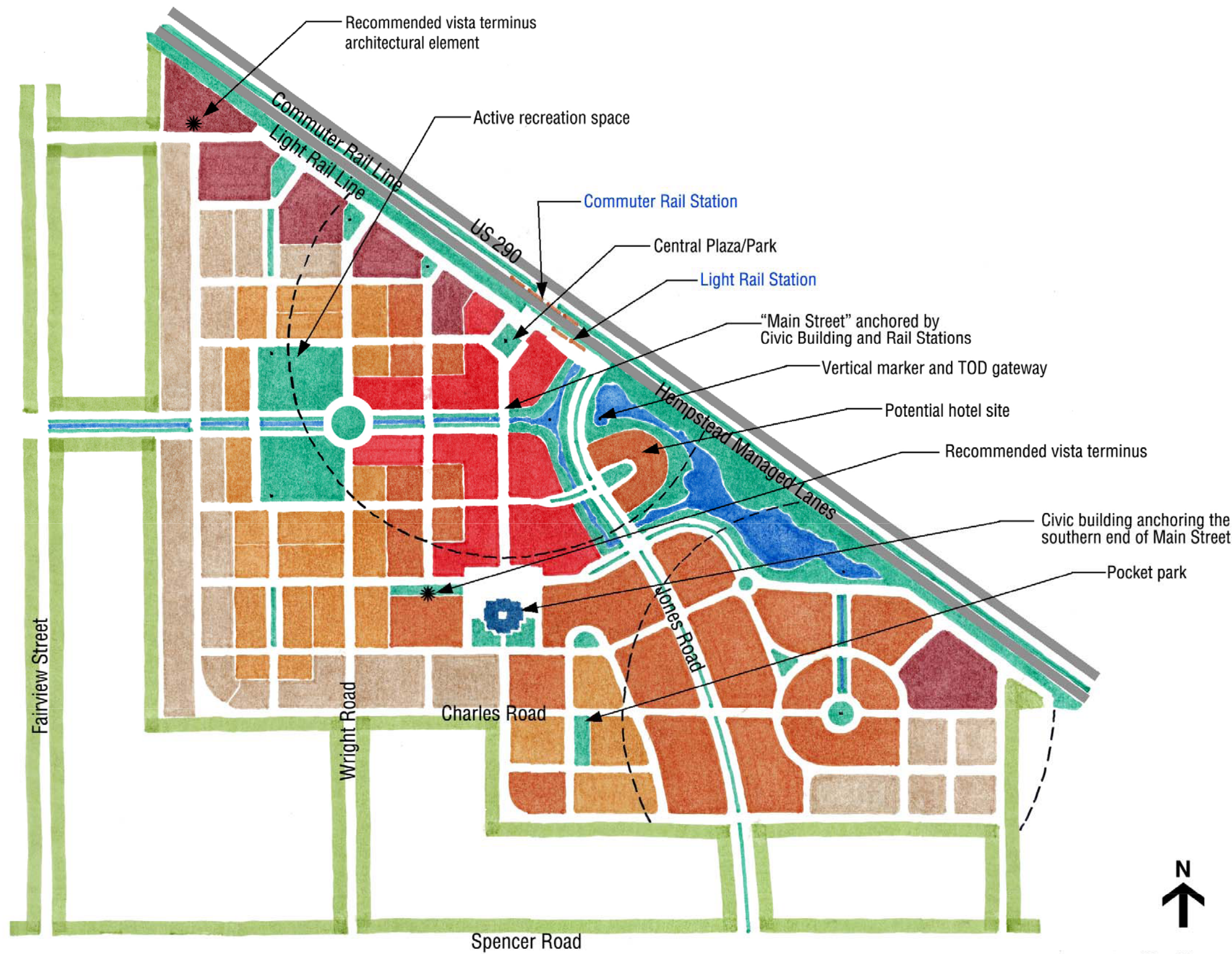


# APPENDIX A - District D Concept Plan



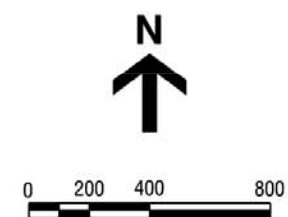
## JERSEY VILLAGE TRANSIT ORIENTED DEVELOPMENT CONCEPTUAL PLAN

March 12, 2010



### Character Zones

- TOD Core
- TOD Core Transition
- TOD Neighborhood
- TOD Neighborhood Transition
- Highway Mixed Use
- Civic Buildings
- Civic/Open Space
- 1/4 mile pedestrian walking radius



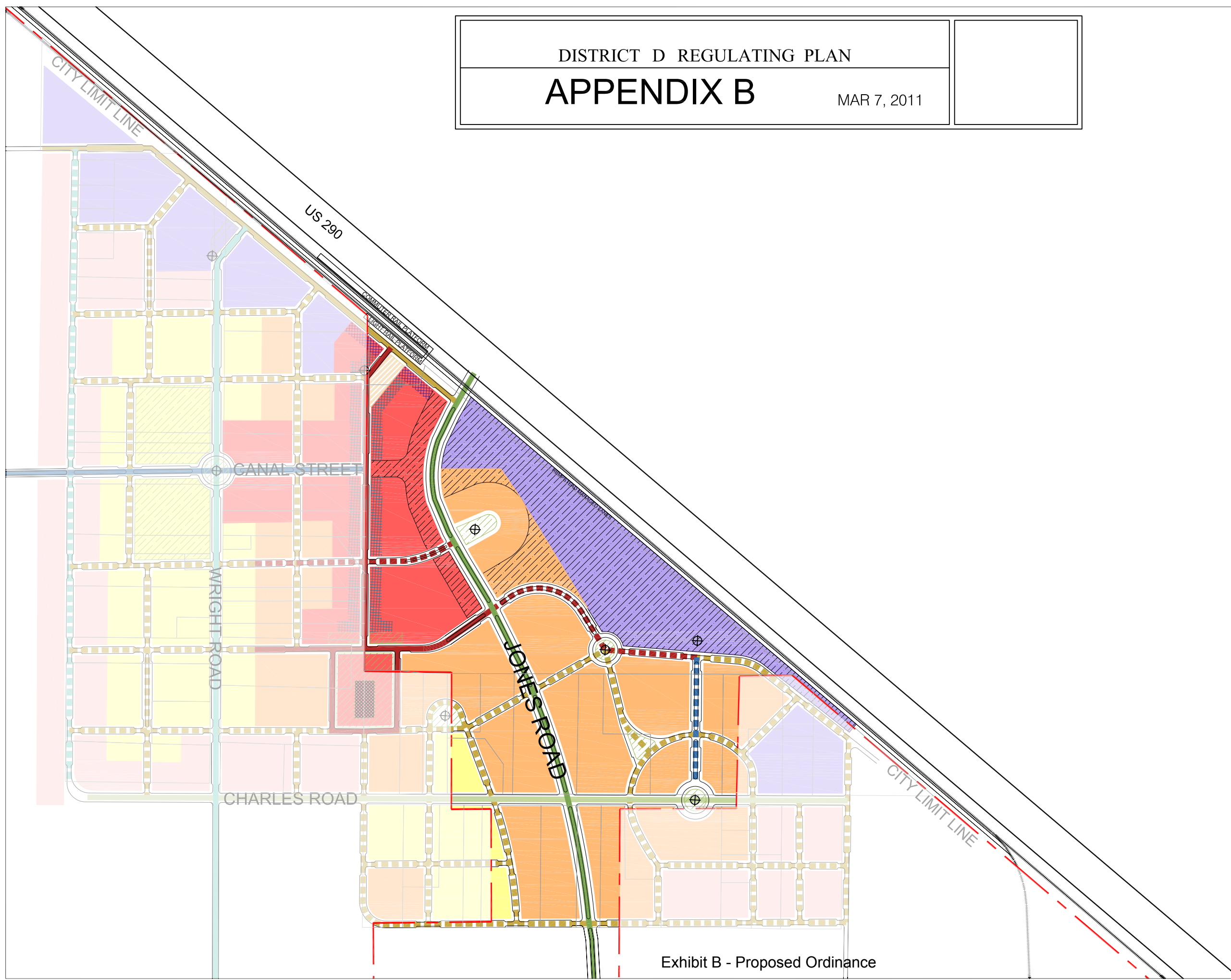
Gateway  
Planning Group



DISTRICT D REGULATING PLAN

APPENDIX B

MAR 7, 2011



CHARACTER ZONES

- District D Core
- District D Mixed Use
- District D Neighborhood
- District D Transition
- District D Highway Mixed-Use

STREET TYPES

**TYPE A STREETS**

- District D Main Street
- District D Mixed Use Avenue
- District D Canal Street

**TYPE B STREETS**

- District D Suburban Boulevard
- District D Urban Avenue
- District D General Street

- Solid line denotes mandatory street
- Dashed line denotes non-mandatory street

OPEN SPACE TYPES

- Mandatory Plaza
- Non-Mandatory Green, Square or Plaza
- Non-Mandatory Park

SPECIAL REQUIREMENTS

- Required Civic Building Site
- Station frontage
- Main Street frontage
- + Recommended Vista Terminus
- City Limit Line
- Existing Parcel Lines

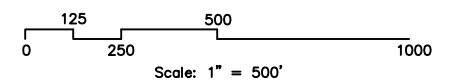
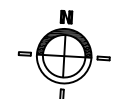


Exhibit B - Proposed Ordinance

**Appendix C**  
**Planting List**

The following lists contain all species approved for use in District D. It contains native and acceptable adapted species. Other species that are drought tolerant and adaptive may be used for planting within District D. The use of alternative species may be permitted with the approval of the City.

CANOPY/STREET TREE LIST

<b><u>Common Name</u></b>	<b><u>Botanical Name</u></b>
Live Oak	<i>Quercus virginiana</i>
Red Oak	<i>Quercus shumardi</i>
Bald Cypress	<i>Taxodium distichum</i>
Sweetgum	<i>Liquidambar styraciflua</i>
Cedar Elm	<i>Ulmus crassifolia</i>
Lacebark Elm	<i>Ulmus parvifolia</i>
Allee Elm	<i>Ulmus parvifolia 'Emer II'</i>
Bigtooth Maple	<i>Acer grandidentatum</i>
Caddo Maple	<i>Acer saccharum 'Caddo'</i>
Texas Ash	<i>Fraxinus velutina 'Rio Grande'</i>
Bur Oak	<i>Quercus macrocarpa</i>
Chinquapin Oak	<i>Quercus muhlenbergii</i>
Escarpment Live Oak	<i>Quercus fusiformis</i>
Ginkgo	<i>Ginkgo biloba</i>
Sycamore	<i>Platanus occidentalis</i>

ORNAMENTAL TREE LIST

<b><u>Common Name</u></b>	<b><u>Botanical Name</u></b>
Yaupon Holly	<i>Ilex vomatoria</i>
Crape Myrtle	<i>Lagerstromia indica</i>
Deciduous Yaupon	<i>Ilex deciduas</i>
Southern Crabapple	<i>Malus app.</i>
Chinese Pistache	<i>Pistacia chinensis</i>
Mexican Plum	<i>Prunus Mexicana</i>
Wax Myrtle	<i>Myrica carifera</i>
Chitalpa	<i>Chitalpa tashkentensis</i>
Deciduous Holly	<i>Ilex deciduas</i>
Desert Willow	<i>Chilopsis linearis</i>
Eve's Necklace	<i>Sophora affinis</i>
River Birch	<i>Betula nigra</i>

SHRUBS LIST

<b><u>Common Name</u></b>	<b><u>Botanical Name</u></b>
Dwarf Nandina	<i>Nandina domestica 'nana'</i>
Dwarf Burford Holly	<i>Ilex cornuta 'burfordi nana'</i>
Abelia Grandiflora	<i>Abelia grandiflora</i>
Barberry	<i>Barberry spp.</i>
Yucca (Red, Yellow or Soft Tip)	<i>Hesperaloe parviflora</i>
Texas Sage	<i>Leucophyllum frutescans</i>

Indian Hawthorn  
Dwarf Crape Myrtle  
Dwarf Yaupon Holly  
Pampas Grass  
Black-Eyed Susan  
Dwarf Wax Myrtle  
Needlepoint Holly  
Knockout Rose  
Rosemary

*Raphiolepis indica*  
*Lagerstromia indica 'nana'*  
*Ilex vomitorria 'nana'*  
*Cortaderia selloana*  
*Rudbeckia hirta*  
*Myrica pusilla*  
*Ilex cornuta 'Needle Point'*  
*Rosa 'Knock Out'*  
*Rosmarinus officinalis*

GROUND COVER/VINES LIST

**Common Name**

Asian Jasmine  
Big Blue Liriope  
Mondgrass  
Purple Winter Creeper  
Santolina  
Trumpet Vine  
Virginia Creeper  
Lady Banks Rose  
Confederate Jasmine  
Crossvine  
Evergreen Wisteria  
Lantana 'New Gold'  
Liriope 'Silver Dragon'  
Prostrate Rosemary  
Sweet Autumn Clematis

**Botanical Name**

*Trachelosperum Asiaticum*  
*Liriope muscari*  
*Ophiopogon japonicas*  
*Euonymum coloratus*  
*Santolina virens*  
*Campsis radicans*  
*Parthenocissus quinifolia*  
*Rosa banksiaw lutea*  
*Trachelospermum jasminoides*  
*Bignonia capreolata*  
*Millettia reticulate*  
*Lantana camara 'New Gold'*  
*Liriope muscari 'Silver Dragon'*  
*Rosmarinus officinalis prostrate*  
*Clematis terniflora*

ORNAMENTAL GRASSES LIST

**Common Name**

Dwarf Fountain Grass 'Little Bunny'  
Dwarf Maiden Grass  
Fountain Grass  
Inland Sea oats  
Maiden Grass  
Mexican Feather Grass  
Muhly Grass  
Weeping Lovegrass

**Botanical Name**

*Pennisetum alopecuroides 'Little Bunny'*  
*Miscanthus sinensis 'Adagio'*  
*Pennisetum alopecuroides*  
*Chasmanthium latifolium*  
*Miscanthus sinensis 'Gracillimus'*  
*Stipa tenuissima*  
*Muhlenbergia capillaries*  
*Eragrostis curvula*

TURF

**Common Name**

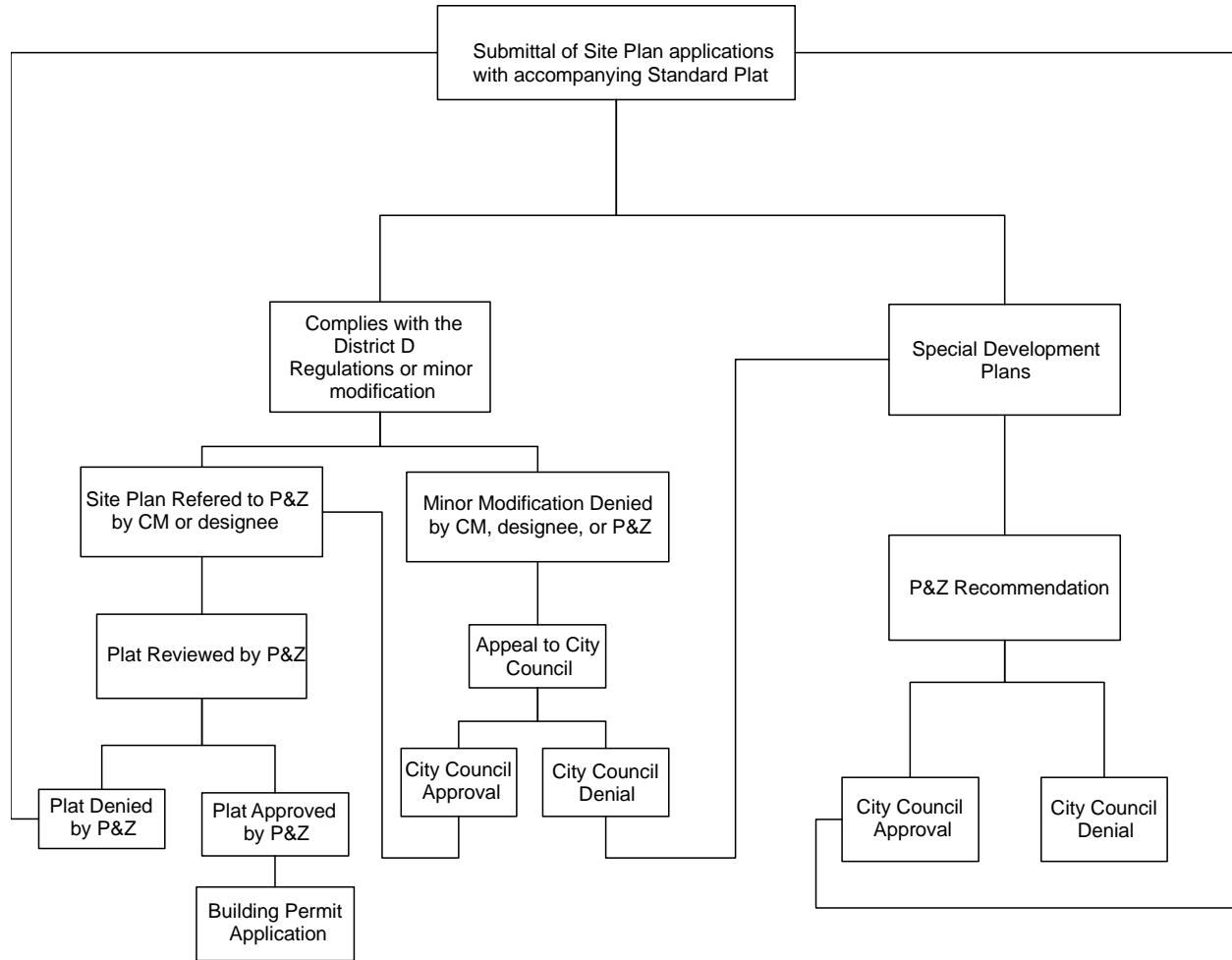
Bermuda  
St. Augustine  
Zoysia

**Botanical Name**

*Cynodon dactylon*  
*Stenotaphrum secundatum*  
*Zoysia tenuifolia*

These plantings may be placed in Civic and Private Open Spaces or used to meet the private landscaping requirements of the Code. The applicant shall select drought tolerant, low maintenance, and adaptable shrubs and ground cover based on the placement on the site subject to approval by the City.

**Appendix D**  
**District D**  
**Jersey Village Crossing**  
**Development Review Process**



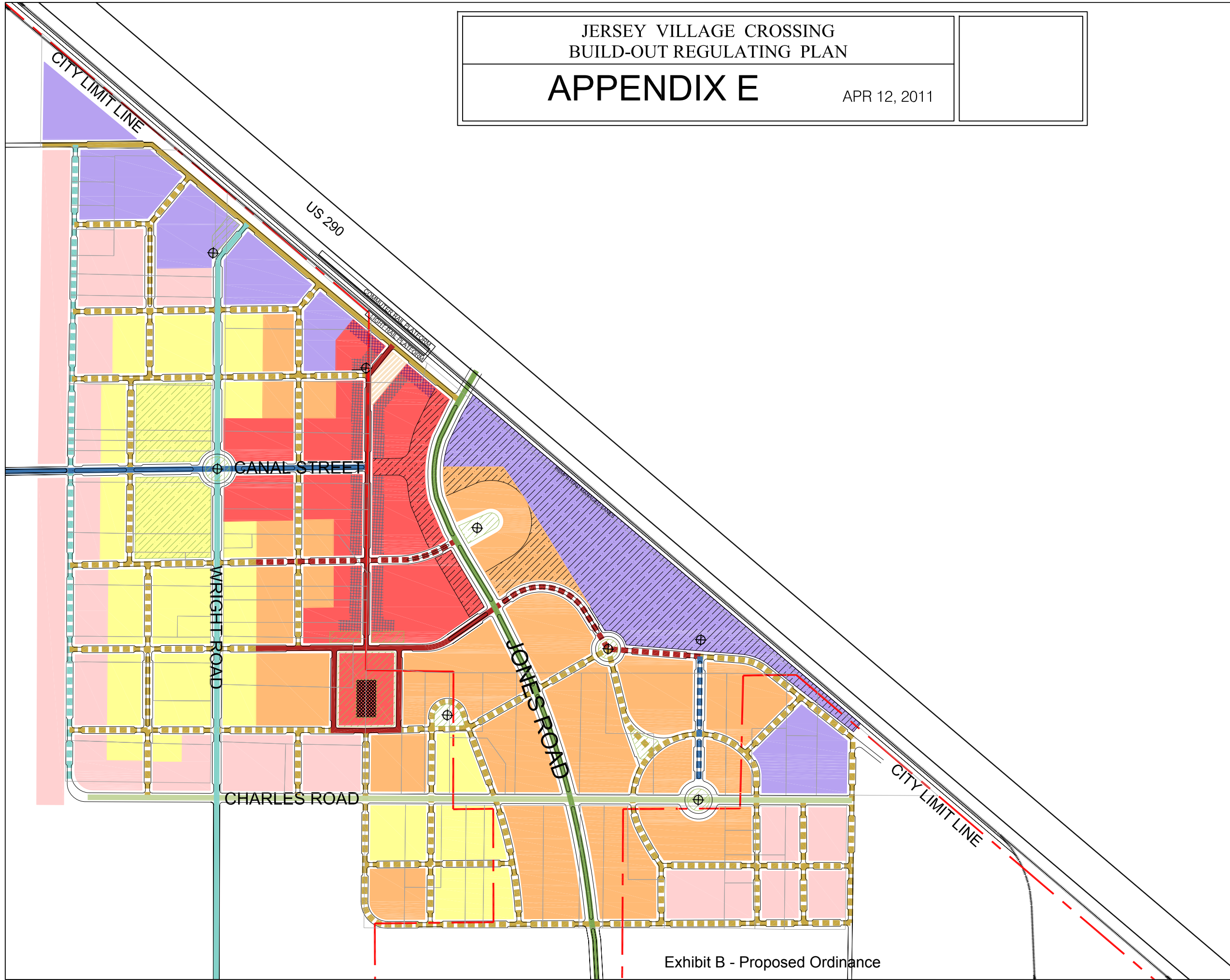
P&Z: Planning and Zoning Commission  
CC: City Council  
SDP: Special Development Plan  
CM: City Manager

Boundary Line Adjustments shall follow the provisions set forth in Section 14-56 of the Code of Ordinances

JERSEY VILLAGE CROSSING  
BUILD-OUT REGULATING PLAN

APPENDIX E

APR 12, 2011



CHARACTER ZONES

- District "D" Core
- District "D" Mixed Use
- District "D" Neighborhood
- District "D" Transition
- District "D" Highway Mixed-Use

STREET TYPES

**TYPE A STREETS**

- District "D" Main Street
- District "D" Mixed Use Avenue
- District "D" Canal Street

**TYPE B STREETS**

- District "D" Suburban Boulevard
- District "D" Urban Avenue
- District "D" General Street

- Solid line denotes mandatory street
- Dashed line denotes non-mandatory street

OPEN SPACE TYPES

- Mandatory Plaza
- Non-Mandatory Green, Square or Plaza
- Non-Mandatory Park

SPECIAL REQUIREMENTS

- Required Civic Building Site
- Station frontage
- Main Street frontage
- ⊕ Recommended Vista Terminus
- City Limit Line
- Existing Parcel Lines

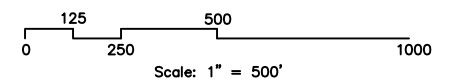


Exhibit B - Proposed Ordinance